



City of Appleton

100 North Appleton Street
Appleton, WI 54911-4799
www.appleton.org

Meeting Agenda - Final Community & Economic Development Committee

Wednesday, March 14, 2018

4:30 PM

Council Chambers, 6th Floor

1. Call meeting to order

2. Roll call of membership

3. Approval of minutes from previous meeting

[18-0151](#) CEDC Minutes from 1-24-18

Attachments: [CEDC Minutes 1-24-18.pdf](#)

4. Public Hearings/Apearances

[18-0157](#) Presentation by Beth Pritzl of the Fox Cities Regional Partnership on the Talent Upload program

Attachments: [FCRP Winter Mag Pages.pdf](#)

5. Action Items

[18-0152](#) Request to approve recommended funding of \$25,000 for 2018 sponsorship of Talent Upload program to the Fox Cities Regional Partnership

Attachments: [Memo to CEDC on Talent Upload Sponsorship 2018.pdf](#)
[Talent Upload Sponsorship Request 2018.pdf](#)

[18-0321](#) Request to grant staff authority to authorize or approve administratively the use of insulated metal panels with the appearance of exterior insulation and finish systems (EIFS) or stucco as requested in the Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park

Attachments: [Memo Building Materials Standards Bus-Ind Parks.pdf](#)
[Southpoint Deed Restrictions.pdf](#)
[Insulated Panel Brochure.pdf](#)

- [18-0325](#) The "low profile design" language in the Deed Restrictions and Covenants as it relates to signs in the Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park, be interpreted to mean monument style signs, not to exceed 10 feet in height

Attachments: [Memo_Signage Standards_Bus-Ind Parks.pdf](#)
[Southpoint Deed Restrictions.pdf](#)
[Examples of Single-Multi Tenant Signage.pdf](#)

- [18-0326](#) Request to approve the City of Appleton maintain its current selling prices for business/industrial park land as described in the attached documents

Attachments: [Memo on Business-Industrial Park Land Value.pdf](#)
[Exhibit A-Ind Land Sales Comparison.pdf](#)
[Exhibit B-Ind Land Asking Price Comparison.pdf](#)
[Southpoint11-17.pdf](#)

- [18-0379](#) Request to allow short sale of 1426 N. Durkee Street by Hillary Minor (n/k/a Hillary Line) based on a payment to the City of Appleton of at least 50% of our outstanding homeowner rehabilitation loan

Attachments: [Memo_Short Sale Appeal_Hillary Minor \(Line\).pdf](#)

6. Information Items

- [18-0327](#) 2017 Growth Report for the City of Appleton

Attachments: [2017 Growth Report Summary CEDC 3-14-18.pdf](#)
[2017 City of Appleton Growth Report.pdf](#)

7. Adjournment

Notice is hereby given that a quorum of the Common Council may be present during this meeting, although no Council action will be taken.

Any questions about items on this meeting are to be directed to Karen Harkness, Director, Community and Economic Development Department at 920-832-6468.

Reasonable Accommodations for Persons with Disabilities will be made upon Request and if Feasible.



City of Appleton

100 North Appleton Street
Appleton, WI 54911-4799
www.appleton.org

Meeting Minutes - Final Community & Economic Development Committee

Wednesday, January 24, 2018

4:30 PM

Council Chambers, 6th Floor

1. Call meeting to order

Meeting called to order at 4:30 p.m.

2. Roll call of membership

Present: 5 - Coenen, Baranowski, Reed, Williams and Alderperson Baker

Others present:

Alderperson Kyle Lobner, District #13

Jennifer Stephany, Appleton Downtown Inc.

Brian Leone Tracy, Appleton Downtown Inc.

3. Approval of minutes from previous meeting

[18-0089](#)

CEDC Minutes from 12-13-17

Attachments: [CEDC Minutes 12-13-17.pdf](#)

Alderperson Baker moved, seconded by Reed, that the Minutes be approved.

Roll Call. Motion carried by the following vote:

Aye: 5 - Coenen, Baranowski, Reed, Williams and Alderperson Baker

4. Public Hearings/Appearances

5. Action Items

[18-0090](#)

Request to approve recommended funding of \$15,000 for 2018 sponsorships for Appleton Downtown Inc. (ADI) programs as outlined in the attached documents

Attachments: [Memo to CEDC on ADI Sponsorships 2018.pdf](#)

[Proposed City Sponsorships for ADI 2018.pdf](#)

Baranowski moved, seconded by Alderperson Baker, that the Report Action Item be recommended for approval. Roll Call. Motion carried by the following vote:

Aye: 5 - Coenen, Baranowski, Reed, Williams and Alderperson Baker

6. Information Items

[18-0091](#)

Thank you letter from The Mooring Programs, Inc. for funding received from the City of Appleton for the 2017 Community Development Block Grant (CDBG) Program Year

Attachments: [Thank you letter from The Mooring Programs for CDBG funding.pdf](#)

This Presentation was presented.

7. Adjournment

Baranowski moved, seconded by Alderperson Baker, that the meeting be adjourned at 4:39 p.m. Roll Call. Motion carried by the following vote:

Aye: 5 - Coenen, Baranowski, Reed, Williams and Alderperson Baker

ATTRACTING Much Needed Talent

Our largest focus at the Fox Cities Regional Partnership, the economic development division of the Fox Cities Chamber, is our Business Retention and Expansion program. We conduct over 100 visits to existing Fox Cities employers annually to ask them about any challenges they may have affecting their growth and if there are opportunities they would like to take advantage of.

Many employers have told us over the years, that they are having an increasingly difficult time recruiting entry-level talent to their IT and engineering departments. This is not a challenge unique to the Fox Cities; as baby boomers retire and Generation Xers move into more senior positions, companies around the United States are competing for the best and the brightest students coming out of college.

As we know, this market is competitive. We developed Talent Upload, a program for area employers, where we promote a three-day event for students to explore first-hand the Fox Cities and its superior employers. For this year's event, students were required to complete a survey regarding what they value from a job perspective as well as a "quality-of-life" and how important those factors are when selecting a place to begin their careers.

We began by asking the students if they planned on choosing a community in which to live prior to looking for a job there, or if they planned on finding a job first and then looking for a community neighborhood that was nearby. As you can see in the chart to the right, most of the students were looking for the right job—then choosing where to live. We often hear that millennials do just the opposite, so this was interesting.

We then asked the students what the most important factors are to them when choosing a job. The students had four options to choose from regarding each factor. Outlined in the chart to the right are the factors that students identified as "very important" or "deal breaker". These responses were not necessarily shocking.

Much like the factors students look at when considering a job, we asked what was most important to them regarding a community in which to live. Outlined in the chart to the right are the factors that students identified as "very important" or "deal breaker".

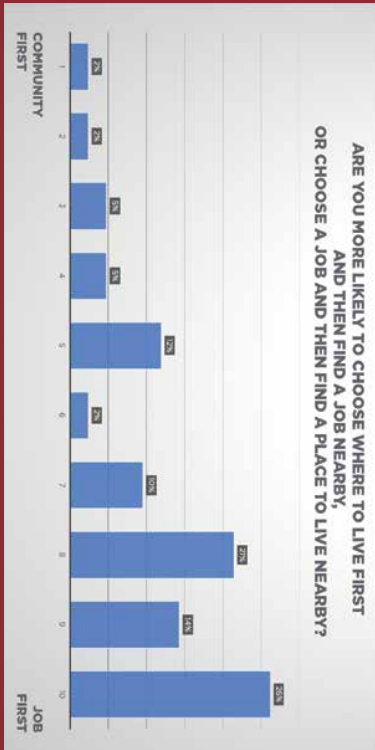
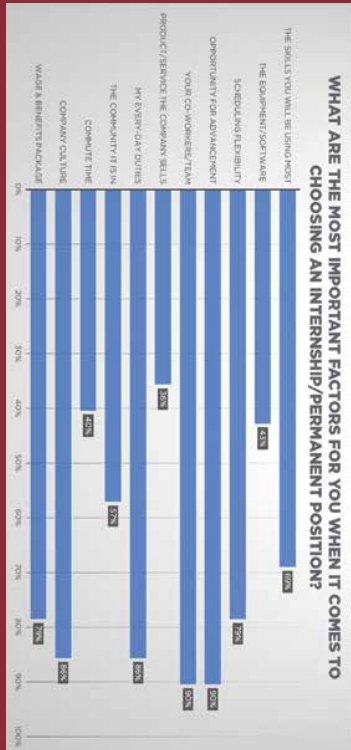
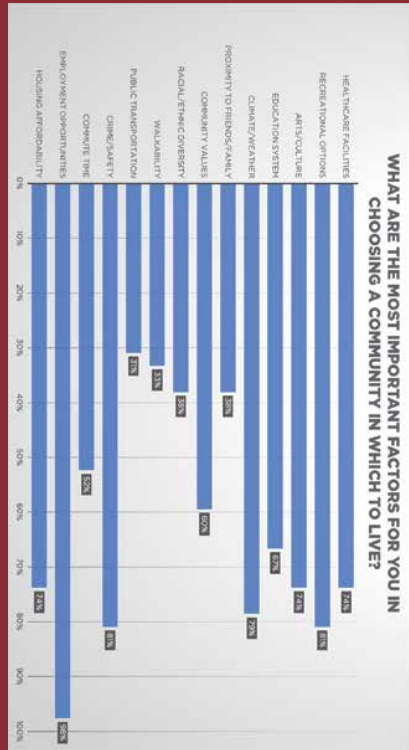
Many of the options ranked close to what we predicted—of course, young people want recreational options. We were surprised, however, to see was that some factors generally considered to be more appreciated by a "more mature" demographic, such as high-quality healthcare, a good public education system, and low crime, are VERY important to these students.

This information may be useful for employers in our region when speaking with potential employees, as the Fox Cities is very competitive with many of the factors listed as important to many of the students.

Learn more about Talent Upload, the immersive three-day event to proactively engage with and recruit talent, by visiting foxcitiesregion.com.



**TALENT
UPLOAD**
FOX CITIES TOUR
A DIVISION OF 



TALENT UPLOAD



MEMORANDUM

“...meeting community needs...enhancing quality of life.”

TO: Community & Economic Development Committee (CEDC)

FROM: Karen Harkness, Director
Monica Stage, Deputy Director

DATE: February 8, 2018

RE: Request to Approve 2018 Sponsorship for Talent Upload Program

The Council approved 2018 Budget includes \$61,000 in the Marketing & Business Services Business Unit of the Community & Economic Development Department Budget. The \$61,000 of funding is divided between \$25,000 for the Fox Cities Regional Partnership to support the Talent Upload program, and the balance of \$36,000 is identified for economic development projects and initiatives.

We have sponsored and found much value in the Talent Upload Program in years past. All of the funds allocated to the Fox Cities Regional Partnership in 2018 will now go solely toward the Talent Upload Program. The attached document speaks to specifics that the City of Appleton receives in turn for the sponsorship.

Staff Recommendation:

Request to approve \$25,000 for 2018 sponsorship for Talent Upload Program as outlined in the attached document **BE APPROVED.**

Brenda Broeske

From: Karen Harkness
Sent: Thursday, January 25, 2018 3:26 PM
To: Brenda Broeske; Monica Stage; Matthew Rehbein
Subject: FW: Invoice request

This will need to go on the next CEDC Agenda!!

K*

Karen Harkness
Director, Community and Economic Development
100 N. Appleton Street
Appleton, Wi. 54911
Office 920-832-6408
Cell 920-209-9520

From: Nora Langolf [mailto:nlangolf@foxcitieschamber.com]
Sent: Thursday, January 25, 2018 3:04 PM
To: Karen Harkness <Karen.Harkness@Appleton.org>
Subject: FW: Invoice request

Hi Karen,

Beth is the expert at all things Talent Upload. Here is her outline. If you need it to be more formal, just let me know.

Nora

I'd be happy to work with Karen/the mayor if she has additional recognition ideas.

Talent Upload Premier Sponsorship:

- Mayor to speak to students
- Recognition on all marketing materials related to the event
 - Website (logo with link)
 - Printed materials to recruit students and employers (logo)
 - All signage at each of the activities within the event
 - Tags on social media posts related to Talent Upload
- Goal of 200 Students/30 employers
- Event to be held 9/20-9/22 (tentative—will be finalized by end of first quarter 2018)

Beth

From: Karen Harkness [<mailto:Karen.Harkness@Appleton.org>]
Sent: Thursday, January 25, 2018 2:36 PM
To: Nora Langolf <nlangolf@foxcitieschamber.com>
Subject: RE: Invoice request

Nora,

Thanks for this invoice.

I should have mentioned this to Peter but I also need our "sponsorship" outline. In years past, we had an outline of what this investment would accomplish and what we would get. Such as, the Mayor usually welcomes the group, logo is on information, how many participants, date of event, etc.

Can you all provide this information as well?

Thanks again.

K*

Karen Harkness
Director, Community and Economic Development
100 N. Appleton Street
Appleton, Wi. 54911
Office 920-832-6408
Cell 920-209-9520



“...meeting community needs...enhancing quality of life.”

MEMORANDUM

TO: Community and Economic Development Committee

FROM: Matt Rehbein, Economic Development Specialist

DATE: February 23, 2018

RE: Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park Deed Restrictions and Covenants - *Building Standards Regarding Metal Panels*

The City of Appleton has recorded Deed Restrictions and Covenants on lots within our business/industrial parks restricting the use of metal panels (example from Southpoint Covenants attached, see Section 4). The primary intent of these restrictions is to ensure the attractiveness and longevity of buildings within our business/industrial parks.

Over the past few years, we have brought forward multiple requests for variances to allow for the use of insulated metal panels on buildings within the parks beyond the percentages described. While technically a metal panel, these materials typically have the appearance of exterior insulation and finish systems (EIFS), or stucco, which is allowed.

Since all variance requests to date have been granted, and the development of new building materials was anticipated in the Deed Restrictions and Covenants (see Section 4, Item 4.E.7 attached) staff is seeking authority to approve the use of these materials administratively, thereby expediting the construction, expansion, remodeling and investment in the City's business/industrial parks.

Staff Recommendation:

Staff be granted the authority to authorize or approve administratively the use of insulated metal panels with the appearance of EIFS or stucco as requested in the Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park **BE APPROVED.**

Exhibit B Deed Restrictions



Appleton's Newest Business Opportunity

DECLARATION OF COVENANTS AND RESTRICTIONS

APPLICABLE TO ALL PROPERTIES SOLD IN
SOUTHPOINT COMMERCE PARK PLATS NO. 1, 2 & 3

This conveyance is made subject to the following conditions, covenants, and understandings, which shall be binding upon the vendee and his/her heirs, successors, and assigns:

1. ***Setbacks:***

- A. *Front Yard:* No building shall be constructed on the site nearer than forty (40) feet of the right-of-way of any public street. In the case of corner lots, both forty (40) foot setbacks will apply.
- B. *Side and Rear Yards:* Minimum side and rear yards shall be twenty-five (25) feet.

2. ***Land Use:***

Restrictions on Use. The Restricted Parcel shall be developed and used solely for the following purpose and for no other purpose:

- 1. Manufacturing;
- 2. Research, development and testing laboratories;
- 3. Wholesaling, warehousing and distribution;
- 4. Office operations only if they are an integral part of and a necessary adjunct to a permitted use;
- 5. Retail sales of products manufactured on site and clearly an accessory use to the primary use of the site and provided on premises sales are limited in floor area to no more than (10) percent of the total gross floor area occupied by the permitted or special use;
- 6. Other land uses may be considered for approval by the Community Development Committee if a determination is made that the project fits the development objectives of the City.

3. ***Nuisance Factors and Hazards***

- A. In order to protect the interests of all Tenants, no operation shall be conducted which emits offensive or objectionable noise, vibration, smoke, odors, dust, or gases. Precautions should be taken in all research and other approved operations for radiation, radioactivity, fire, and explosion hazards.
- B. No fuel or chemical in-ground or outdoor storage shall be allowed in the Park.

4. ***Building Standards***

- A. Any building erected shall be at least 7,500 square feet in area and have a gross floor area equal to at least 10 percent of the land area.
- B. The maximum ratio of building area (footprint) to total parcel size shall in no event exceed forty (40) percent, exclusive of parking and loading areas. The building footprint, all parking, driveways, and loading areas, when combined, may not exceed seventy (70) percent of the total Parcel size.
- C. Buildings shall be designed by an Architect or Engineer. Complete architectural design must be given to all façades of all buildings with all sides and rear elevations being given architectural treatment compatible with the front elevation of the building.
- D. This Industrial Park encourages a variety of architectural styles. However, it is intended that a basic harmony of architecture prevail among the buildings so that no one structure detract from the attractiveness of the overall development.
- E. The front elevation of the building, any elevation facing a street, and externally visible opaque surfaces shall be a minimum of 75% of materials 1-5 (provided, however, that such list shall not be deemed to exclude the use of other accent or exterior trim materials, glass and glazing, and earth berms). The side and rear building elevations that do not face any street shall be a minimum of 25% of materials (1-5). Exception to this requirement would be limited to (1) expandable building side with prior approval from the Site Plan Review Committee.
 - 1. Brick;
 - 2. Architectural precast concrete panels (surface finish to be painted, stained, or exposed aggregate). When using concrete panels as an exterior surface the architect should be careful to avoid a monolithic or monotonous appearance and the use of various textures, colors and accents will be encouraged.
 - 3. Decorative face concrete block. When using decorative face concrete block as an exterior surface the architect should be careful to avoid a monolithic or monotonous appearance and the use of different types and textures (split face, fluted, scored or striated) to provide variety and relief will be encouraged.

4. Cut stone;
 5. Exterior insulation and finish systems (EFIS);
 6. Metal panels may be used only in combination with one of the approved materials. Any metal siding proposed for use shall be entirely coated with a color fast, abrasion and corrosion resistant, long life (minimum of 20 years) finish that is resistant to chemicals, withstands temperature extremes, and has a low permeability. Any material utilized to attach the metal siding to the building shall be concealed or the utilization of shadow panels or semi-concealed fastener panels with fasteners painted to match the panels shall be required.
 7. Other building materials being developed and to be developed by the construction industry. The use of such materials will be reviewed by the Site Plan Review Committee on a case-by-case basis.
- F. Building materials will be selected for their ability to present a visual statement of a building or structure's strength, attractiveness, and permanence. The building materials used shall be harmonious with the natural environment and with the general character of other buildings and structures in the Park.
- G. Metal trim materials may be used when in keeping with the architectural and aesthetic character of the building or structure.
- H. The Community Development Committee will approve ancillary structures. Approval may be granted only if such structures are necessary to the principal use of the building site, are in architectural and aesthetic conformance with other buildings or structures on the site, are properly screened, meet all requirements of these covenants and are otherwise satisfactory to the Community Development Committee at its sole discretion.

5. ***Landscaping:***

- A. ***Landscape Plan:*** The landscaping upon any building site or lot shall be carried out in accordance with a detailed landscaping plan, which has been reviewed and approved in writing by the City's Site Plan Review Committee. The landscape plan shall include, but not be limited to, plant location, common and botanical names of plant material, planting size, root condition, and quantity of all plant material. The plan shall show all ground cover and mulch areas, landscape and construction materials, and construction details.
- B. ***Landscaping Methods:*** Landscaping may include grading, earth berms, seeding, sodding, raised planters, architectural decorative walls or fencing, trees and shrubs, ground cover and other landscape materials including permanent sprinkler systems, fountains, storm run-off retention ponds, reflective ponds, and landscape lighting.

- C. *Plant Material*: Selected plant material should provide for a variety of shade trees, evergreen trees, and shrubs, ornamental trees and shrubs and ground covers. Plant material selection shall take into consideration the following:
1. Disease and insect resistance;
 2. Hardiness to the area;
 3. The ability to provide seasonal interest;
 4. Future maintenance considerations;
 5. Ability of plant material to accomplish its intended purpose in each placement.
- D. *Time for Completion*: All landscaping shall be completed within ninety (90) days following occupancy, or as soon thereafter as weather will allow if such period occurs within winter months.
- E. *Maintenance*: The owner shall be responsible for maintaining all landscaping as approved on the original plan for his site. Any variation or changes to the landscape plan must be reviewed and approved in writing by the Community Development Department. Landscaped areas, materials, fixtures, and improvements shall be maintained by the owner of the building site, or by such owner's long-term lessee(s) in good condition at all times. Such maintenance shall include watering, mowing, trimming, pruning, spraying, fertilizing, repairing, replacement of dead plantings, planting, transplanting, dusting, treating, and other common landscape maintenance activities necessary to keep the building site landscaping in a healthy state of growth and visually attractive in appearance.

If the owner or the owner's assigns fail to maintain the landscaping and site per the approved landscaping plan in this section, the City of Appleton or its Agent may seek an inspection warrant to enter the site and conduct such maintenance and to seek full reimbursement.

6. *Utility Controls*

All utilities lines shall be located underground where feasible except for high voltage lines. In the event high voltage lines are required, rear locations nearest and parallel with rear lot lines shall be encouraged.

7. *Parking, Loading*

Off-street parking and loading areas shall be provided on each building site and shall be of sufficient size to accommodate all planned or anticipated parking and loading needs of all site occupants and visitors and comply with the City's Zoning Ordinance regarding parking standards.

1. All truck maneuvering must be confined within the boundaries of the property.
2. All parking, driveways, and loading areas shall be paved.
3. Parking shall be permitted within the minimum front yard setback area; however, it shall be located no closer than fifteen (15) feet to the public right-of-way line. Parking shall be setback a minimum of 6' from the side property line.

Truck loading and receiving areas shall occur in the rear of any buildings or structures on any Lot. Truck loading and receiving areas shall be permitted on the side of such building if sufficient visual screening is installed to screen the dock area from the street.

Truck loading and receiving is normally not permitted in the front of such building unless dictated by the site conditions and only if fully screened from the street. In that event, the Community Development Committee shall review and approve the location of the loading dock. The Community Development Committee may assign this review of plans to the Community Development Department.

8. ***Outdoor Storage:***

No outside storage of any kind shall be permitted unless such stored materials are visually screened from all streets and adjoining properties with a suitable fence, vegetation, berm, or combination thereof approved by the Site Plan Review Committee. Screening shall be attractive in appearance and in keeping with the architectural quality of the main structure. Said storage shall be limited to behind the front line of the building on the property, and within the building setback lines. All refuse containers must be enclosed by a fence of solid material such as will provide a suitable visual screen. No waste material or refuse may be dumped or permitted to remain on any part of the property outside of the buildings. All storage areas shall be paved.

9. ***Roof Mounted Equipment:***

Roof mounted equipment shall be so located and/or screened, and painted to minimize visibility from the street and adjacent owners.

10. ***Signs:***

Identification signs shall be permitted to promote only the name and/or trademark of the owner or tenant of the parcel on which the sign is placed. The signs shall not advertise business services. Signs, lighting, etc., are to be indicated on the final site plan submitted to the Site Plan Review Committee for review.

1. Ground signs must be set back a minimum of 10 feet from the right-of-way line and must be of a low profile design subject to approval by the Committee.
2. Signs may not be of unusual size or shape when compared to the improvements situated on the site on which the sign is located.

3. Signs may not be installed above the roofline of a building.
4. Pole signs are prohibited.
5. Signs may not contain or utilize any flashing, blinking, intermittent or moving light as source of illumination.
6. No signs shall be located in or painted on any window.
7. Building signs must comply with the City Sign Code.

11. ***Maintenance Responsibilities:***

- A. Each owner shall keep its property, all contiguous street right-of-way to the edge of the pavement, and all drainage and easement areas in a well-maintained, safe, clean, and attractive condition at all times. Such maintenance includes, but is not limited to the following:
 1. The removal of all litter, trash, refuse, and wastes;
 2. Compliance with the City's noxious weed control ordinance, including the mowing of all grass areas to a height not over 4";
 3. The maintenance of exterior lighting, signs, and mechanical facilities;
 4. The keeping of all exterior building surfaces in a cleaned, well-maintained condition;
 5. The maintenance of all drainage ways including the removal of all debris, weeds, and silt.
- B. The owner of any undeveloped lands shall maintain said lands free of rubbish, noxious weeds, and mosquito breeding pond conditions.

12. ***Site Plan Review:***

Before commencing the construction or alterations of any buildings, additions, enclosures, fences, loading docks, parking facilities, storage yards, or any other structures or permanent improvements on or to the real estate conveyed hereby, the owner shall first submit its building plans, specifications, site and landscape plans, elevations of all sides of the building, samples of materials proposed for all external surfaces including colors and textures, and an artist's rendering of the project or a scale model to the Site Plan Review Committee in accordance with Section 23-171 of the City Zoning Code. Renderings should show adjacent buildings, landscaping, screening, signs etc.

13. ***Repurchase Rights:***

Failure to Build: In the event the owner of land purchased from the City of Appleton does not commence construction of a building within one (1) year after the date of purchase, the City has the option to repurchase said property. The City shall pay the following repurchase price: the sum of the original purchase price and all special assessments which may have been paid by the buyer or levied against the property after the date of purchase minus the sum of any unpaid property taxes, pro-ration of the current years property taxes to date of closing, title insurance policy premium, real estate commission paid at time of original closing, and any liens and encumbrances on the property of a definite or ascertainable amount. Further, repurchase price shall be adjusted by the amount equal to the amount of an option fee for that year had the property been under option between the City and the Buyer. Conveyance shall be by warranty deed.

Resale of Vacant Land: In the event the owner of land purchased from the City of Appleton elects to sell any portion thereof, which is vacant, the property shall first be offered, in writing, to the City of Appleton. The City of Appleton shall have sixty (60) days from date of receipt of such offer to accept or reject repurchase of the property unless an extension of time may be mutually agreed upon and set forth in writing. The purchase price shall be computed as in the paragraph above (Failure to Build). Conveyance shall be by warranty deed. The seller shall furnish a title insurance policy at the seller's expense. In the event the City does not elect to repurchase the property, the owner may sell the land, but these Declarations of Covenants and Restrictions shall run with the land and be binding on the subsequent owner.

14. ***Subdivision of Lots:***

After a lot has been purchased, such lot shall not be further subdivided without the written consent of the Community Development Committee. No owner may sell, lease or rent less than all of the lot without the prior written consent of the Community Development Committee. The Community Development Committee may delegate this approval authority to the Community Development Department. The foregoing prohibition shall not apply to occupancy leases of space in a building made in the ordinary course of business.

15. ***Waiver of Notice:***

All land sold before major assessable improvements are completed in the business park site shall be subject to the purchaser's waiving notice of assessments and hearings, and such waiver shall be part of the negotiations.

16. ***Variances:***

Notwithstanding anything contained herein to the contrary, the City of Appleton expressly reserves the right at any time to authorize in writing variances from the strict applications of these covenants and restrictions, or any one or more of them, where the circumstances, in its sole

and exclusive judgment, justifies the granting of same.

17. ***Enforcement:***

The Community Development Committee has the responsibility to ensure compliance with the covenants and restrictions through any and all lawful means. In the event that the owner fails to perform in accordance with these covenants and restrictions, the Common Council, upon recommendation of the Community Development Committee, may take whatever corrective measures it deems appropriate and assess the cost thereof against the property in the same manner as a special charge. The Common Council shall give at least thirty (30) days notice to the vendee of any violation and the steps required to correct it prior to taking any action to cure such violation.

18. ***Invalidation:***

The invalidation of any one of the covenants or restrictions herein set forth or the failure to enforce any of said covenants and restrictions at the time of its violation shall in no way affect any of the other covenants or restrictions nor be deemed a waiver of the right to enforce the same thereafter.

19. ***Term:***

Each lot shall be conveyed subject to the covenants and restrictions set forth herein, all of which are to run with the land and shall be binding on all parties and all persons claiming them for a period of thirty (30) years from the date of this Declaration of Covenants and Restrictions is recorded, after which time said covenants and restrictions as are then in force and effect shall be automatically renewed for successive periods of ten (10) years each, unless an instrument terminating such covenants and restrictions is recorded with the Outagamie County Register of Deeds by the Common Council as evidenced by a resolution duly adopted by a majority of all members of the Common Council.

SOUTHPOINT COMMERCE PARK PLAT NO. 1

PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 2264, AND PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 1222, AND PART OF THE NW 1/4 OF THE NE 1/4 OF THE NE 1/4 OF THE SW 1/4 OF THE NE 1/4 AND THE SE 1/4 OF THE NE 1/4, IN SECTION 4, TOWNSHIP 20 NORTH, RANGE 18 EAST, CITY OF APPLETON, CALUMET COUNTY, WISCONSIN.

SHEET 1 OF 2

CURVE TABLE

STATION	CHORD BEARING	CHORD DIST.	ARC DIST.	ANGLE
1+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
2+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
3+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
4+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
5+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
6+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
7+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
8+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
9+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"
10+00.00	S 89° 17' 47" E	1633.98	1633.98	89° 17' 47"

LOT 1 C.S.M. NO. 2264

LOT 2 C.S.M. NO. 1222

PLANK ROAD (C.T.H. "AP")

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

DRIVE

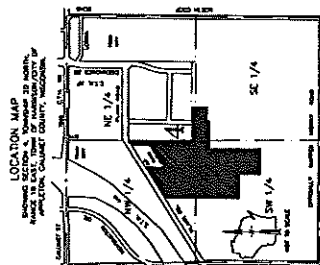
DRIVE

DRIVE

DRIVE

PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 2264 AND PART OF THE SW 1/4 OF THE NE 1/4, THE NW 1/4 OF THE SE 1/4, THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE NW 1/4 AND THE SE 1/4 OF THE SW 1/4, IN SECTION 4, TOWNSHIP 20 NORTH, RANGE 18 EAST, CITY OF APPLETON, CALUMET COUNTY, WISCONSIN.

Thomas M. Koonce, Wisconsin Registered Land Surveyor No. 22704

[illegible]

TYPICAL BUILDING SETBACK
40' AT FRONT, 25' SIDE AND REAR
(50' REAR YARD AND SIDE YARD IF ADJUTING
A RESCENUALLY-ZONED DISTRICT)

① OUTLOT 7 IS A DETENTION POND AND IS NOT A BUILDABLE LOT AND SHALL REMAIN THE PROPERTY OF THE CITY OF APPLING.

A 27' WIDE UTILITY EASEMENT IS GRANTED WITH THIS PLAT ACROSS LOTS 18 AND 19 AS SHOWN, BEING LOCATED IN THE SOUTHEAST QUARTER(1/4) OF SECTION 4, T20N, R15E.

THE EXISTING UTILITY EASEMENTS SHOWN ACROSS THE NORT E PART OF LOTS 18-19 AND 24 AND ALSO THE SLY PART OF LOTS 13, 23 AND OUTLOT 7 WERE RECORDED IN THE PUBLIC DOCUMENTS REGISTERED IN VOL. 7 OF PG. 332, VOL. 7 OF PG. 154, VOL. 7 OF PG. 370, VOL. 7 OF PG. 600, V-158 AND VOL. 7 OF PG. 556.

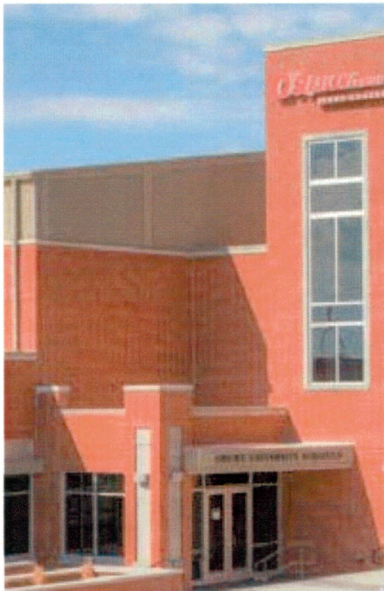
**CITY OF APPLETON
DEPARTMENT OF PUBLIC WORKS**

Engineering Division
188 North Appleton Street
Appleton, WI 54911
(920) 832-6674
FAX (920) 832-6699



INSULATED PANELS

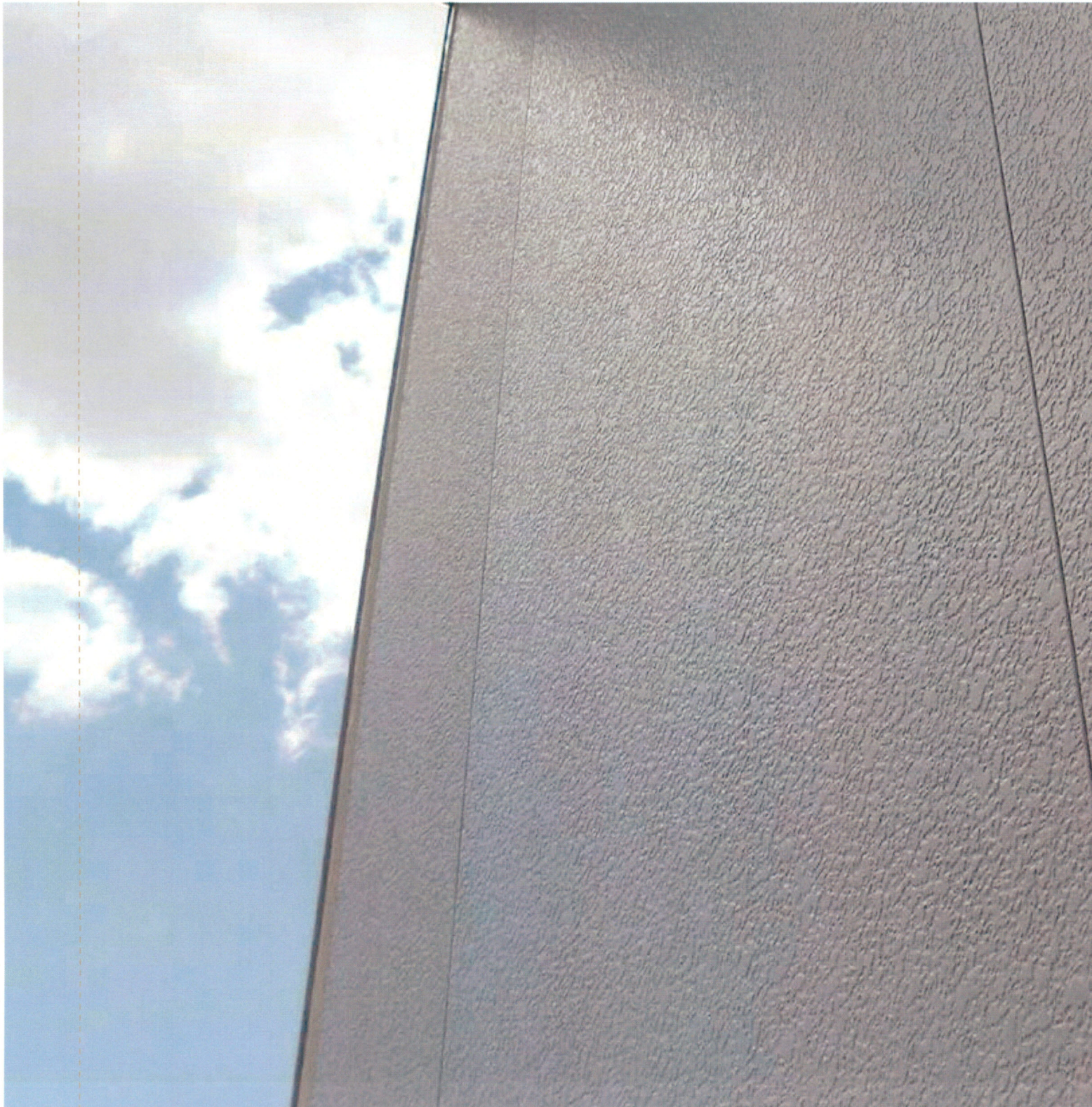
SEE THE DIFFERENCE in appearance, value, performance and installation.





**AMERICAN
BUILDINGS**

A **NUCOR** COMPANY



Leading the industry in technology, design flexibility, quality, and value for more than half a century, **American Buildings Company** is one of the largest and most experienced manufacturers of custom engineered steel building systems in the world. In addition to offering a full line of custom products, our insulated panels rank as one of the most energy-efficient, well-made, cost-effective building solutions on the market today.

The Ultimate Combination of Brains & Beauty

Our insulated panels embody attractive styling and cutting-edge energy efficiency. Designed with the latest scientific breakthroughs, our panels are lightweight, durable and still maintain their ease of installation and visual appeal. Now is the best time to build with ABC insulated panels because the benefits have never been greater.

Attractive & Lightweight

One of the most sophisticated building products on the market today, insulated panels offer a clean, consistent and high-quality appearance that immediately adds value to any building. Insulated panels enhance the visual appearance of your buildings, and their remarkable light weight reduces structural requirements and installation costs.

Sturdy & Durable

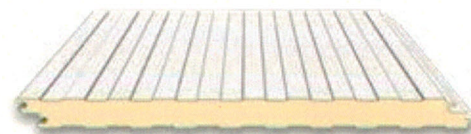
The panels incorporate a finished interior liner, factory-applied air and vapor shield, and insulated foam core finished exterior weathering surface into a single building unit. The composite action resulting from a chemical bond between the poured-in-place foam core and steel skins creates a lightweight, rigid unit with exceptional spanning capacity.

Easy To Install & Affordable

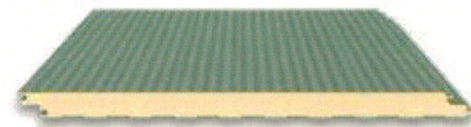
Lightweight and simplified fastening systems deliver quick installation and reduce labor costs. The panels themselves are very affordable, in part because of their lowered shipping costs attributed to their light weight. Panels can even be installed in adverse weather conditions.

The Ultimate in Energy Efficiency

You get 100% reliable thermal performance and insulation continuity – no cavities, no gaps, no crushed insulation and no cold bridges. No change of R-value occurs when purlin and girt center dimensions are varied. The insulated core is one of the most thermally effective insulants commonly available today. Insulation values can be easily increased by simply increasing the thickness of the panels.



PLANK PROFILE
Insulated Wall Panel



STRIATED PROFILE
Insulated Wall Panel



HEAVY EMBOSSED FLAT PROFILE
Insulated Wall Panel



STANDING SEAM
Insulated Roof Panel

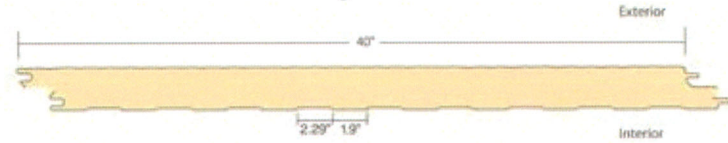
INSULATED WALL PANELS

Each project follows a different set of parameters and, as such, may require a different set of wall panels. We offer a selection of panels to accommodate the needs of any project. Each of our three wall panel profiles detailed below is ideally suited for commercial and industrial applications. The wide panels install quickly and easily. Fasteners are concealed within the panel side joint, and the attractive profiles break up the flat expanse of metal on large projects such as manufacturing plants or warehouses.



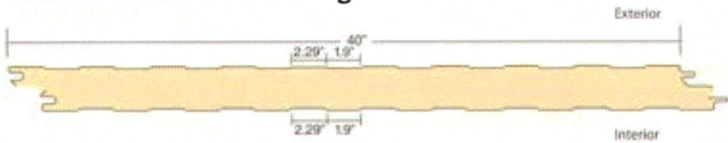
STRIATED PROFILE

Exterior Finish: Smooth - Light Emboss



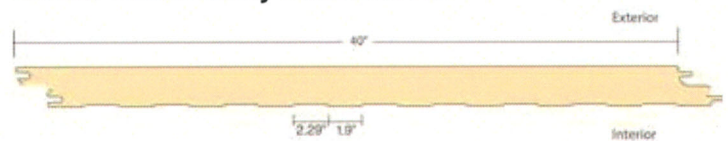
PLANK PROFILE

Exterior Finish: Smooth - Light Emboss



HEAVY EMBOSSED FLAT PROFILE

Exterior Finish: Heavy Embossed Flat



INSULATED WALL PANEL FEATURES & BENEFITS

- The double tongue and groove is self-aligning and weathertight, and it allows for sealant application at either the interior or exterior side of the panel joinery depending on the direction of the vapor drive.
- Hidden/concealed fasteners give the panel a clean, aesthetically appealing appearance.
- Removable film prevents damage to the exterior of the panel during shipping and installation.
- Panels arrive on-site in one piece and require one simple step installation, reducing construction time and costs.
- Standard exterior and interior steel surface is 26-gauge.

Wall Systems Specifications Striated, Plank & Heavy Embossed Flat Profiles

Panel Thickness	2"	2.5"	3"	4"
Insulating "R" Values*	R16	R20	R24	R32
*R Values are derived from thermal testing per ASTM C518 @ 40°F mean and ASTM C1363 @ 35°F mean. For project specific values, please contact your sales representative.				
Insulating "U" Factors	U0.061	U0.049	U0.041	U0.031
Panel Width	40"			
Minimum Length	8'0"			
Maximum Length	56'0"			
Application	Vertical			
Exterior Gauge (Standard)	26 ga.			
Interior Gauge	26 ga.			
Exterior Paint Coating	SmartKote® (PVDF)**			
**When using field-applied coatings, always order Polyester.				
Interior Paint Coating	Polyester**			
Interior Finish	Light Emboss – Plank Profile			

ALLOWABLE LOAD FOR ALL WALL PANELS (PSF) BASED ON L/180 DEFLECTION

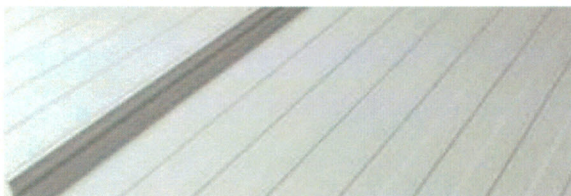
PANEL THICKNESS	PANEL WEIGHT	SIMPLE SPAN (FT)								TWO OR MORE SPANS (FT)							
		SPANS (FT)								SPANS (FT)							
(IN)	(PSF)	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0
2"	2.22	65	49	38	30	24	19	15	13	70	55	44	36	30	25	21	18
2.5"	2.34	85	65	51	41	33	27	22	18	90	72	58	48	40	34	29	24
3"	2.41	106	82	65	53	43	35	29	25	111	89	72	60	51	43	37	32
4"	2.62	147	116	94	77	64	53	45	38	153	123	101	85	72	62	54	47
5"	2.82	189	151	123	102	85	72	61	53	194	157	131	110	95	82	71	63
6"	2.98	232	186	153	127	107	91	79	68	236	192	160	136	117	102	89	79

- Notes: 1) Spans shown are based on transverse load testing of the panels per ASTM E-72. Thermal effect due to temperature differentials have not been considered.
2) Loads shown do not include a check of the attachment to the supports. Attachment requirements will vary based on the project wind load requirements.
3) Loads shown are based on panels with 26-gauge interior and exterior facings.



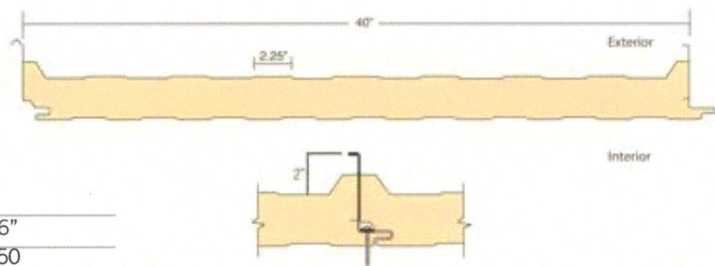
INSULATED ROOF PANELS

These mechanically seamed roof panels are an ideal solution where energy-efficient standing seam roof panels are required. The unique design of this panel allows for 26-gauge exterior and interior skins, saving money and weight on a building.



STANDING SEAM

Exterior Finish: Smooth - No Emboss



Roof Systems Specifications Standing Seam

Thickness	3.25"	4"	5"	6"
Insulating "R" Values*	R26	R32	R42	R50
*R Values are derived from thermal testing per ASTM C518 @ 40°F mean and ASTM C1363 @ 35°F mean. For project specific values, please contact your sales representative.				
Insulating "U" Factors	U0.038	U0.031	U0.024	U0.020
Panel Width	40"			
Minimum Length	8'0"			
Maximum Length	56'0"			
Exterior Gauge (Standard)	26 ga.			
Interior Gauge (Standard)	26 ga.			
Exterior Paint Coating	SmartKote® (PVDF)			
Interior Paint Coating Polyester				
Interior Finish	Light Emboss – Plank Profile			
Minimum Roof Pitch	1/2:12			

INSULATED ROOF PANEL FEATURES & BENEFITS

- The panel's standing seam joint is self-aligning and allows for easy sealant application at the panel joinery.
- Panels arrive on-site in one piece and require one simple-step installation, reducing construction time and costs.
- Standard exterior and interior steel surface is 26-gauge.
- The standing seam joint is 180-degree field seamed.

ALLOWABLE LOAD FOR STANDING SEAM ROOF PANELS (PSF) BASED ON L/240 DEFLECTION

PANEL THICKNESS (IN)	PANEL WEIGHT (PSF)	PANEL SPANS (FT)					
		4.0	4.5	5.0	5.5	6.0	7.0
3.25"	2.48	90	79	70	62	56	46
4"	2.65	112	98	87	78	71	59
5"	2.86	142	125	111	100	90	75
6"	3.12	172	151	135	121	110	92

Notes: 1) Spans shown are based on transverse load testing of the panels per ASTM E-72. Thermal effect due to temperature differentials have not been considered.
2) Loads shown do not include a check of the attachment to the supports. Attachment requirements will vary based on the project wind load requirements.
3) Loads shown are based on panels with 26-gauge interior and exterior facings.

ADOBETEXTURE™

AdobeTexture™ factory finish coated wall panels offer a low gloss, multi-textured profile and finish system that simulates a troweled stucco appearance. This is a premium coating that is applied to the Heavy Embossed Flat Profile panel. This unique process eliminates the need for additional or factory-applied stucco coatings.

The panel's exterior stucco-like surface is a hard aggregated fiber-reinforced polymer finish. This factory-applied finish combines an attractive appearance with durability, resisting the effects of impact, abrasion and weather. The interior panel face is finished in the Plank Profile and can act as a finished interior wall.

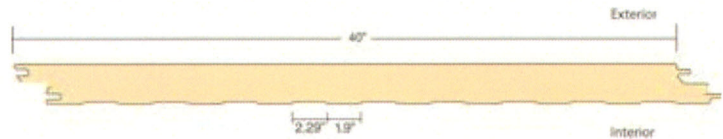
The AdobeTexture insulated wall panels deliver excellent energy efficiency. The factory-applied joint sealant provides a complete wall-system weather barrier.

Panels are offered in 2- to 4-inch thicknesses. Panel width is 40" and panels are available in lengths from 8' to 56'. Installation of panels is simple and secure, requiring only a simple clip.



ADOBETEXTURE™ WALL PANELS

Exterior Profile: Heavy Embossed Flat
Exterior Finish: Multi-textured Surface



ADOBETEXTURE™ PANEL FEATURES & BENEFITS

- Eliminates need for field coatings
- Breakthrough technology bringing stucco look and texture to insulated wall panels
- Same easy installation as standard insulated wall panels
- Eliminates multi-step field assembly currently needed for stud and stucco systems
- Self-alignment double tongue and groove with concealed fastener joints
- Matching AdobeTexture trim for a clean, continuous look and feel
- 25-year factory warranty on finish system including adhesion, chalking and fading



COLOR SELECTION

Our insulated wall panels benefit from our many years of experience in the metal buildings industry and the use of our cool coating technology.

To be considered cool, products must have a solar reflectance of at least 25%. Solar reflectance is the measure of a panel's ability to not absorb certain wavelengths of the sun. Another important factor is thermal emittance, the measure of a panel's ability to release heat that it has absorbed. Put these two factors together and you get the solar reflectance index, the measure of a panel's ability to reflect solar heat. Using insulated wall and roof panels as part of your whole cool-coated metal system can reduce energy consumption by more than 40% (as reported by the Oak Ridge National Laboratory).

EXTERIOR COLORS - SMARTKOTE® PVDF

These colors utilize cool coating technology

These "cool" exterior coatings feature vivid, fade-resistant color, incredible durability and environmentally friendly cool technology originally developed for stealth aircraft in the U.S. military. This is by far the best paint system available on the market for commercial buildings.



Regal White
IR .72 SRI 87



Warm White
IR .59 SRI 70



Surrey Beige
IR .51 SRI 58



Pearl Gray
IR .50 SRI 57



Royal Blue
IR .29 SRI 29



Evergreen
IR .30 SRI 31

IR = Initial Reflectance • SRI = Solar Reflectance Index

ADOBETEXTURE™ WALL PANELS



**Regal White
Adobe**



**Sandstone
Adobe**



**Surrey Beige
Adobe**



**Pearl Gray
Adobe**

INTERIOR COLOR - POLYESTER



Imperial White

NOTE: When using field-applied coatings, always order Imperial White Polyester for the exterior coating.



ABOUT AMERICAN BUILDINGS COMPANY

Without exception, our quality products give you the simplicity, durability and affordability you're looking for. But even more important is the fact that American Buildings Company gives you the value-added benefits you need to ensure that your project is more than just a building; it's a success.

We have strategically located manufacturing facilities throughout North America. This translates into faster delivery, and similarly, fast access to our sales and customer service experts who can help with every phase of project development "and construction and help ensure your job is hassle-free and successful.

We offer a proprietary design, estimating, ordering and graphics system that reduces planning and design time and saves you money.

American Buildings Company is committed to using the best materials in the most resourceful way to maximize efficiency and save you money. This commitment includes environmentally friendly products such as our insulated panels with SmartKote® coatings. These durable structures come with SmartKote finishes that can be warranted for an optional 35 years against fading, chipping or peeling. SmartKote panels feature vivid fade-resistant color, incredible durability and environmentally friendly "cool" technology originally developed for stealth aircraft in the U.S. military. By offering eco-friendly, longer-lasting and recyclable products such as our insulated panels, we're giving you an easy, cost-effective way to leave a lighter footprint on the planet.

To help meet all of your building needs, American Buildings Company specializes in flexible metal systems that reduce construction time and maintenance. While there are numerous companies that can offer you building systems and materials, very few offer you the expertise, experience, flexibility and innovation that American does. And only American can deliver the value-added benefits you need to improve efficiency, save time and money and guarantee quality.



**AMERICAN
BUILDINGS**
A NUCOR COMPANY

**INNOVATION.
TECHNOLOGY.
SOLUTIONS.**

American Buildings Company
Marketing Information Line
888.307.4338
www.americanbuildings.com

ABC – Atlantic Division
501 Golden Eagle Drive
La Crosse, VA 23950
Tel: 706.562.8020
Fax: 706.562.8017

ABC – South Division
1150 State Docks Road
Eufaula, AL 36027
Tel: 334.687.2032
Fax: 334.688.2200

ABC – Midwest Division
901 W. Main Street
El Paso, IL 61738
Tel: 309.527.1500
Fax: 309.527.1522

ABC - West Division
2260 Tenaya Drive
Modesto, CA 95354
Tel: 209.236.0580
Fax: 209.236.0588



MEMORANDUM

TO: Community and Economic Development Committee

FROM: Matt Rehbein, Economic Development Specialist

DATE: February 23, 2018

RE: Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park Deed Restrictions and Covenants - *Building Standards Regarding Signage*

The City of Appleton has recorded Deed Restrictions and Covenants on lots within our business/industrial parks restricting the style of signs to “a low profile design” (example from Southpoint Covenants attached, see Section 10). The primary intent of these restrictions is to ensure the attractiveness of property within our business/industrial parks.

Historically, “low profile design” has been interpreted to mean a monument style sign. Attached to this memo are typical examples of both single-tenant and multi-tenant signs that have previously been approved. Height of these signs range from 6 feet to 10 feet.

Due to the potential ambiguity of the “low profile design” language, staff is seeking guidance on what can be approved administratively and what CEDC would like to review. Based on signage that has been approved by CEDC and Council previously, staff recommends “low profile design” be interpreted as a monument style sign not to exceed 10 feet tall. When signs are requested outside of these guidelines, the request would be brought before CEDC for review. By providing these guidelines, staff will be able to provide more definitive answers to those looking to make investments in our business/industrial parks while still providing an option to those seeking signage outside of those guidelines.

Staff Recommendation:

The “low profile design” language in the Deed Restrictions and Covenants as it relates to signs in the Northeast Business Park, Northeast Industrial Park and Southpoint Commerce Park, be interpreted to mean monument style signs, not to exceed 10 feet in height, **BE APPROVED**.

Exhibit B Deed Restrictions



Appleton's Newest Business Opportunity

DECLARATION OF COVENANTS AND RESTRICTIONS

APPLICABLE TO ALL PROPERTIES SOLD IN
SOUTHPOINT COMMERCE PARK PLATS NO. 1, 2 & 3

This conveyance is made subject to the following conditions, covenants, and understandings, which shall be binding upon the vendee and his/her heirs, successors, and assigns:

1. ***Setbacks:***

- A. *Front Yard:* No building shall be constructed on the site nearer than forty (40) feet of the right-of-way of any public street. In the case of corner lots, both forty (40) foot setbacks will apply.
- B. *Side and Rear Yards:* Minimum side and rear yards shall be twenty-five (25) feet.

2. ***Land Use:***

Restrictions on Use. The Restricted Parcel shall be developed and used solely for the following purpose and for no other purpose:

- 1. Manufacturing;
- 2. Research, development and testing laboratories;
- 3. Wholesaling, warehousing and distribution;
- 4. Office operations only if they are an integral part of and a necessary adjunct to a permitted use;
- 5. Retail sales of products manufactured on site and clearly an accessory use to the primary use of the site and provided on premises sales are limited in floor area to no more than (10) percent of the total gross floor area occupied by the permitted or special use;
- 6. Other land uses may be considered for approval by the Community Development Committee if a determination is made that the project fits the development objectives of the City.

3. ***Nuisance Factors and Hazards***

- A. In order to protect the interests of all Tenants, no operation shall be conducted which emits offensive or objectionable noise, vibration, smoke, odors, dust, or gases. Precautions should be taken in all research and other approved operations for radiation, radioactivity, fire, and explosion hazards.
- B. No fuel or chemical in-ground or outdoor storage shall be allowed in the Park.

4. ***Building Standards***

- A. Any building erected shall be at least 7,500 square feet in area and have a gross floor area equal to at least 10 percent of the land area.
- B. The maximum ratio of building area (footprint) to total parcel size shall in no event exceed forty (40) percent, exclusive of parking and loading areas. The building footprint, all parking, driveways, and loading areas, when combined, may not exceed seventy (70) percent of the total Parcel size.
- C. Buildings shall be designed by an Architect or Engineer. Complete architectural design must be given to all façades of all buildings with all sides and rear elevations being given architectural treatment compatible with the front elevation of the building.
- D. This Industrial Park encourages a variety of architectural styles. However, it is intended that a basic harmony of architecture prevail among the buildings so that no one structure detract from the attractiveness of the overall development.
- E. The front elevation of the building, any elevation facing a street, and externally visible opaque surfaces shall be a minimum of 75% of materials 1-5 (provided, however, that such list shall not be deemed to exclude the use of other accent or exterior trim materials, glass and glazing, and earth berms). The side and rear building elevations that do not face any street shall be a minimum of 25% of materials (1-5). Exception to this requirement would be limited to (1) expandable building side with prior approval from the Site Plan Review Committee.
 - 1. Brick;
 - 2. Architectural precast concrete panels (surface finish to be painted, stained, or exposed aggregate). When using concrete panels as an exterior surface the architect should be careful to avoid a monolithic or monotonous appearance and the use of various textures, colors and accents will be encouraged.
 - 3. Decorative face concrete block. When using decorative face concrete block as an exterior surface the architect should be careful to avoid a monolithic or monotonous appearance and the use of different types and textures (split face, fluted, scored or striated) to provide variety and relief will be encouraged.

4. Cut stone;
 5. Exterior insulation and finish systems (EFIS);
 6. Metal panels may be used only in combination with one of the approved materials. Any metal siding proposed for use shall be entirely coated with a color fast, abrasion and corrosion resistant, long life (minimum of 20 years) finish that is resistant to chemicals, withstands temperature extremes, and has a low permeability. Any material utilized to attach the metal siding to the building shall be concealed or the utilization of shadow panels or semi-concealed fastener panels with fasteners painted to match the panels shall be required.
 7. Other building materials being developed and to be developed by the construction industry. The use of such materials will be reviewed by the Site Plan Review Committee on a case-by-case basis.
- F. Building materials will be selected for their ability to present a visual statement of a building or structure's strength, attractiveness, and permanence. The building materials used shall be harmonious with the natural environment and with the general character of other buildings and structures in the Park.
- G. Metal trim materials may be used when in keeping with the architectural and aesthetic character of the building or structure.
- H. The Community Development Committee will approve ancillary structures. Approval may be granted only if such structures are necessary to the principal use of the building site, are in architectural and aesthetic conformance with other buildings or structures on the site, are properly screened, meet all requirements of these covenants and are otherwise satisfactory to the Community Development Committee at its sole discretion.

5. ***Landscaping:***

- A. ***Landscape Plan:*** The landscaping upon any building site or lot shall be carried out in accordance with a detailed landscaping plan, which has been reviewed and approved in writing by the City's Site Plan Review Committee. The landscape plan shall include, but not be limited to, plant location, common and botanical names of plant material, planting size, root condition, and quantity of all plant material. The plan shall show all ground cover and mulch areas, landscape and construction materials, and construction details.
- B. ***Landscaping Methods:*** Landscaping may include grading, earth berms, seeding, sodding, raised planters, architectural decorative walls or fencing, trees and shrubs, ground cover and other landscape materials including permanent sprinkler systems, fountains, storm run-off retention ponds, reflective ponds, and landscape lighting.

- C. *Plant Material*: Selected plant material should provide for a variety of shade trees, evergreen trees, and shrubs, ornamental trees and shrubs and ground covers. Plant material selection shall take into consideration the following:
1. Disease and insect resistance;
 2. Hardiness to the area;
 3. The ability to provide seasonal interest;
 4. Future maintenance considerations;
 5. Ability of plant material to accomplish its intended purpose in each placement.
- D. *Time for Completion*: All landscaping shall be completed within ninety (90) days following occupancy, or as soon thereafter as weather will allow if such period occurs within winter months.
- E. *Maintenance*: The owner shall be responsible for maintaining all landscaping as approved on the original plan for his site. Any variation or changes to the landscape plan must be reviewed and approved in writing by the Community Development Department. Landscaped areas, materials, fixtures, and improvements shall be maintained by the owner of the building site, or by such owner's long-term lessee(s) in good condition at all times. Such maintenance shall include watering, mowing, trimming, pruning, spraying, fertilizing, repairing, replacement of dead plantings, planting, transplanting, dusting, treating, and other common landscape maintenance activities necessary to keep the building site landscaping in a healthy state of growth and visually attractive in appearance.

If the owner or the owner's assigns fail to maintain the landscaping and site per the approved landscaping plan in this section, the City of Appleton or its Agent may seek an inspection warrant to enter the site and conduct such maintenance and to seek full reimbursement.

6. *Utility Controls*

All utilities lines shall be located underground where feasible except for high voltage lines. In the event high voltage lines are required, rear locations nearest and parallel with rear lot lines shall be encouraged.

7. *Parking, Loading*

Off-street parking and loading areas shall be provided on each building site and shall be of sufficient size to accommodate all planned or anticipated parking and loading needs of all site occupants and visitors and comply with the City's Zoning Ordinance regarding parking standards.

1. All truck maneuvering must be confined within the boundaries of the property.
2. All parking, driveways, and loading areas shall be paved.
3. Parking shall be permitted within the minimum front yard setback area; however, it shall be located no closer than fifteen (15) feet to the public right-of-way line. Parking shall be setback a minimum of 6' from the side property line.

Truck loading and receiving areas shall occur in the rear of any buildings or structures on any Lot. Truck loading and receiving areas shall be permitted on the side of such building if sufficient visual screening is installed to screen the dock area from the street.

Truck loading and receiving is normally not permitted in the front of such building unless dictated by the site conditions and only if fully screened from the street. In that event, the Community Development Committee shall review and approve the location of the loading dock. The Community Development Committee may assign this review of plans to the Community Development Department.

8. ***Outdoor Storage:***

No outside storage of any kind shall be permitted unless such stored materials are visually screened from all streets and adjoining properties with a suitable fence, vegetation, berm, or combination thereof approved by the Site Plan Review Committee. Screening shall be attractive in appearance and in keeping with the architectural quality of the main structure. Said storage shall be limited to behind the front line of the building on the property, and within the building setback lines. All refuse containers must be enclosed by a fence of solid material such as will provide a suitable visual screen. No waste material or refuse may be dumped or permitted to remain on any part of the property outside of the buildings. All storage areas shall be paved.

9. ***Roof Mounted Equipment:***

Roof mounted equipment shall be so located and/or screened, and painted to minimize visibility from the street and adjacent owners.

10. ***Signs:***

Identification signs shall be permitted to promote only the name and/or trademark of the owner or tenant of the parcel on which the sign is placed. The signs shall not advertise business services. Signs, lighting, etc., are to be indicated on the final site plan submitted to the Site Plan Review Committee for review.

1. Ground signs must be set back a minimum of 10 feet from the right-of-way line and must be of a low profile design subject to approval by the Committee.
2. Signs may not be of unusual size or shape when compared to the improvements situated on the site on which the sign is located.

3. Signs may not be installed above the roofline of a building.
4. Pole signs are prohibited.
5. Signs may not contain or utilize any flashing, blinking, intermittent or moving light as source of illumination.
6. No signs shall be located in or painted on any window.
7. Building signs must comply with the City Sign Code.

11. ***Maintenance Responsibilities:***

- A. Each owner shall keep its property, all contiguous street right-of-way to the edge of the pavement, and all drainage and easement areas in a well -maintained, safe, clean, and attractive condition at all times. Such maintenance includes, but is not limited to the following:
 1. The removal of all litter, trash, refuse, and wastes;
 2. Compliance with the City's noxious weed control ordinance, including the mowing of all grass areas to a height not over 4";
 3. The maintenance of exterior lighting, signs, and mechanical facilities;
 4. The keeping of all exterior building surfaces in a cleaned, well-maintained condition;
 5. The maintenance of all drainage ways including the removal of all debris, weeds, and silt.
- B. The owner of any undeveloped lands shall maintain said lands free of rubbish, noxious weeds, and mosquito breeding pond conditions.

12. ***Site Plan Review:***

Before commencing the construction or alterations of any buildings, additions, enclosures, fences, loading docks, parking facilities, storage yards, or any other structures or permanent improvements on or to the real estate conveyed hereby, the owner shall first submit its building plans, specifications, site and landscape plans, elevations of all sides of the building, samples of materials proposed for all external surfaces including colors and textures, and an artist's rendering of the project or a scale model to the Site Plan Review Committee in accordance with Section 23-171 of the City Zoning Code. Renderings should show adjacent buildings, landscaping, screening, signs etc.

13. ***Repurchase Rights:***

Failure to Build: In the event the owner of land purchased from the City of Appleton does not commence construction of a building within one (1) year after the date of purchase, the City has the option to repurchase said property. The City shall pay the following repurchase price: the sum of the original purchase price and all special assessments which may have been paid by the buyer or levied against the property after the date of purchase minus the sum of any unpaid property taxes, pro-ration of the current years property taxes to date of closing, title insurance policy premium, real estate commission paid at time of original closing, and any liens and encumbrances on the property of a definite or ascertainable amount. Further, repurchase price shall be adjusted by the amount equal to the amount of an option fee for that year had the property been under option between the City and the Buyer. Conveyance shall be by warranty deed.

Resale of Vacant Land: In the event the owner of land purchased from the City of Appleton elects to sell any portion thereof, which is vacant, the property shall first be offered, in writing, to the City of Appleton. The City of Appleton shall have sixty (60) days from date of receipt of such offer to accept or reject repurchase of the property unless an extension of time may be mutually agreed upon and set forth in writing. The purchase price shall be computed as in the paragraph above (Failure to Build). Conveyance shall be by warranty deed. The seller shall furnish a title insurance policy at the seller's expense. In the event the City does not elect to repurchase the property, the owner may sell the land, but these Declarations of Covenants and Restrictions shall run with the land and be binding on the subsequent owner.

14. ***Subdivision of Lots:***

After a lot has been purchased, such lot shall not be further subdivided without the written consent of the Community Development Committee. No owner may sell, lease or rent less than all of the lot without the prior written consent of the Community Development Committee. The Community Development Committee may delegate this approval authority to the Community Development Department. The foregoing prohibition shall not apply to occupancy leases of space in a building made in the ordinary course of business.

15. ***Waiver of Notice:***

All land sold before major assessable improvements are completed in the business park site shall be subject to the purchaser's waiving notice of assessments and hearings, and such waiver shall be part of the negotiations.

16. ***Variances:***

Notwithstanding anything contained herein to the contrary, the City of Appleton expressly reserves the right at any time to authorize in writing variances from the strict applications of these covenants and restrictions, or any one or more of them, where the circumstances, in its sole

and exclusive judgment, justifies the granting of same.

17. ***Enforcement:***

The Community Development Committee has the responsibility to ensure compliance with the covenants and restrictions through any and all lawful means. In the event that the owner fails to perform in accordance with these covenants and restrictions, the Common Council, upon recommendation of the Community Development Committee, may take whatever corrective measures it deems appropriate and assess the cost thereof against the property in the same manner as a special charge. The Common Council shall give at least thirty (30) days notice to the vendee of any violation and the steps required to correct it prior to taking any action to cure such violation.

18. ***Invalidation:***

The invalidation of any one of the covenants or restrictions herein set forth or the failure to enforce any of said covenants and restrictions at the time of its violation shall in no way affect any of the other covenants or restrictions nor be deemed a waiver of the right to enforce the same thereafter.

19. ***Term:***

Each lot shall be conveyed subject to the covenants and restrictions set forth herein, all of which are to run with the land and shall be binding on all parties and all persons claiming them for a period of thirty (30) years from the date of this Declaration of Covenants and Restrictions is recorded, after which time said covenants and restrictions as are then in force and effect shall be automatically renewed for successive periods of ten (10) years each, unless an instrument terminating such covenants and restrictions is recorded with the Outagamie County Register of Deeds by the Common Council as evidenced by a resolution duly adopted by a majority of all members of the Common Council.

Southpoint Commerce Park Appleton, Wisconsin

Calumet Street (County Highway KK)

Slate Highway 441

Office
Park

Retail
Center

Legend

- For Sale
- Office
- Offer
- Sold
- Industrial Park Boundary
- Ponds
- City Limits

Plank Road (County Highway AP)

Eisenhower Drive

Future Pond

9-5700-6
Time Warner Cable
Technical Operations Center

9-5712-1
Mike Roberts
9-5712-2
Lot 2
SCP Plat No. 1
1.44 acres
\$40,000/acre

9-5712-11
Lot 11
SCP Plat No. 1
3.25 acres
\$40,000/acre

9-5712-12
Lot 12
SCP Plat No. 1
3.60 acres
Office Use
\$45,000/acre

9-5712-13
Mike Roberts
RPG 4

9-5712-3
Flair
Flexible
Packaging

9-5712-10
Arrow Moving
Systems, Inc.

9-5712-9
Lot 9
SCP Plat No. 1
3.28 acres
Office Use
\$45,000/acre

9-5712-4
Appleton
Hydraulic
Components

9-5712-6
Lot 6
SCP Plat No. 1
3.30 acres
\$40,000/acre

9-5712-7
Lot 7
SCP Plat No. 1
3.30 acres
\$40,000/acre

9-5712-8
Lot 8
SCP Plat No. 1
3.34 acres
\$45,000/acre

9-5712-5
Lot 5
SCP Plat No. 1
2.32 acres
\$40,000/acre

9-5712-19
Lot 19
SCP Plat
No. 2
3.46 acres
\$40,000/acre

9-5712-26
Lot 26
SCP Plat
No. 3
1.74 acres
\$40,000/acre

9-5712-27
Lot 27
SCP Plat
No. 3
1.69 acres
\$40,000/acre

9-5712-25
Lot 25
SCP Plat No. 2
4.88 acres
\$40,000/acre

9-5712-15
Lot 15
SCP Plat No. 2
4.83 acres
\$40,000/acre

9-5712-16
Lot 16
SCP Plat No. 2
3.69 acres
\$40,000/acre

9-5712-17
Lot 17
SCP Plat No. 2
4.21 acres
\$40,000/acre

9-5712-18
Lot 18
SCP Plat No. 2
4.07 acres
\$40,000/acre

9-5712-24
Lot 24
SCP Plat No. 2
2.88 acres
\$40,000/acre

9-5712-23
Lot 23
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-22
Lot 22
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-21
Lot 21
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-37
Lot 37
SCP Plat No. 3
2.59 acres
\$40,000/acre

9-5712-36
Lot 36
SCP Plat No. 3
2.59 acres
\$40,000/acre

9-5712-35
Lot 35
SCP Plat No. 3
2.59 acres
\$40,000/acre

9-5712-34
Lot 34
SCP Plat No. 3
2.59 acres
\$40,000/acre

9-5712-33
Lot 33
SCP Plat
No. 3
1.80 acres
\$40,000/acre

9-5712-32
Lot 32
SCP Plat
No. 3
1.80 acres
\$40,000/acre

9-5712-31
Lot 31
SCP Plat
No. 3
1.65 acres
\$40,000/acre

9-5712-30
Lot 30
SCP Plat
No. 3
1.55 acres
\$40,000/acre

9-5712-20
Lot 20
SCP Plat No. 2
14.60 acres
\$40,000/acre

9-5712-28
Lot 28
SCP Plat
No. 3
1.69 acres
\$40,000/acre

9-5712-29
Lot 29
SCP Plat
No. 3
1.74 acres
\$40,000/acre

9-5712-28
Lot 28
SCP Plat
No. 3
1.69 acres
\$40,000/acre

9-5712-27
Lot 27
SCP Plat
No. 3
1.69 acres
\$40,000/acre

9-5712-26
Lot 26
SCP Plat
No. 3
1.74 acres
\$40,000/acre

9-5712-25
Lot 25
SCP Plat No. 2
4.88 acres
\$40,000/acre

9-5712-24
Lot 24
SCP Plat No. 2
2.88 acres
\$40,000/acre

9-5712-23
Lot 23
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-22
Lot 22
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-21
Lot 21
SCP Plat No. 2
2.59 acres
\$40,000/acre

9-5712-20
Lot 20
SCP Plat No. 2
14.60 acres
\$40,000/acre

9-5712-19
Lot 19
SCP Plat
No. 2
3.46 acres
\$40,000/acre

9-5712-18
Lot 18
SCP Plat No. 2
4.07 acres
\$40,000/acre

9-5712-17
Lot 17
SCP Plat No. 2
4.21 acres
\$40,000/acre

9-5712-16
Lot 16
SCP Plat No. 2
3.69 acres
\$40,000/acre

9-5712-15
Lot 15
SCP Plat No. 2
4.83 acres
\$40,000/acre

9-5712-14
Lot 14
SCP Plat No. 2
2.16 acres
\$45,000 per acre

9-5712-13
Mike Roberts
RPG 4

9-5712-12
Lot 12
SCP Plat No. 1
3.60 acres
Office Use
\$45,000/acre

9-5712-11
Lot 11
SCP Plat No. 1
3.25 acres
\$40,000/acre

9-5712-10
Arrow Moving
Systems, Inc.

9-5712-9
Lot 9
SCP Plat No. 1
3.28 acres
Office Use
\$45,000/acre

9-5712-8
Lot 8
SCP Plat No. 1
3.34 acres
\$45,000/acre

9-5712-7
Lot 7
SCP Plat No. 1
3.30 acres
\$40,000/acre

9-5712-6
Lot 6
SCP Plat No. 1
3.30 acres
\$40,000/acre

9-5712-5
Lot 5
SCP Plat No. 1
2.32 acres
\$40,000/acre

9-5712-4
Appleton
Hydraulic
Components

9-5712-3
Flair
Flexible
Packaging

9-5712-2
Lot 2
SCP Plat No. 1
1.44 acres
\$40,000/acre

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

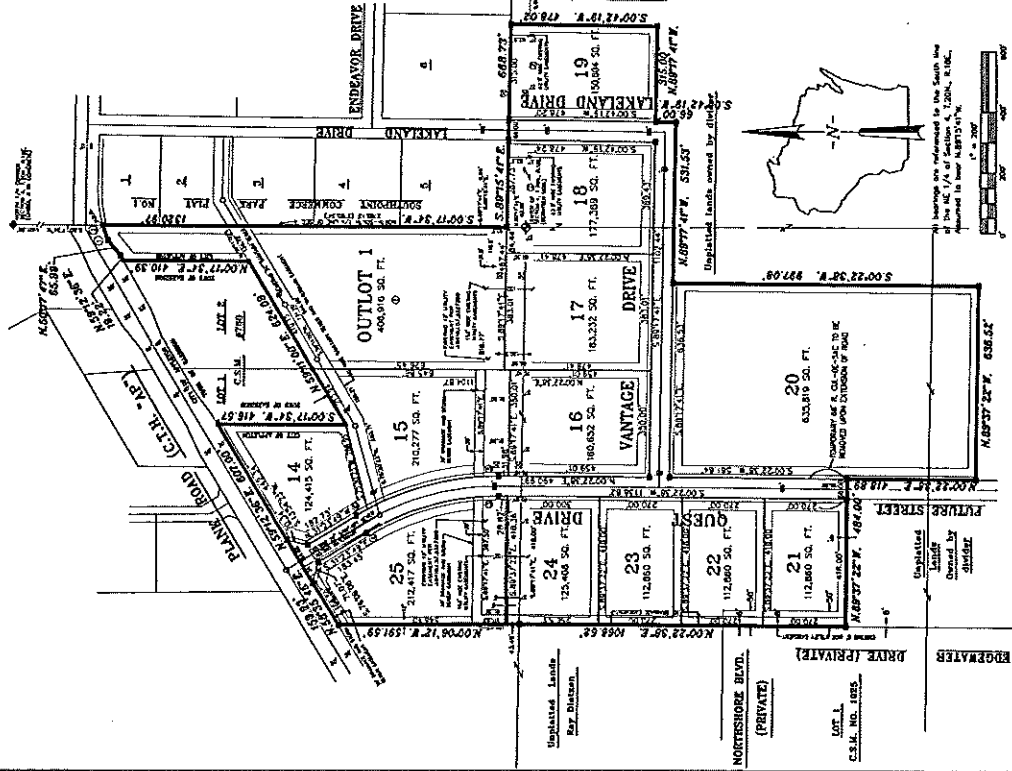
9-5712-1
Mike Roberts

9-5712-1
Mike Roberts

9-5712-1
Mike Roberts



PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 2264 AND PART OF THE SW $\frac{1}{4}$ OF THE NE $\frac{1}{4}$, THE NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, THE SE $\frac{1}{4}$ OF THE NW $\frac{1}{4}$ AND THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, IN SECTION 4, TOWNSHIP 20 NORTH, RANGE 18 EAST, CITY OF APPLETON, CALUMET COUNTY, WISCONSIN.



CITY OF APPLETON
DEPARTMENT OF PUBLIC WORKS
Engineering Division
166 North Appleton Street
Appleton, WI 54911
(920) 832-4674
FAX (920) 832-4489
THIS INSTRUMENT DRAFTED BY: Y. KRONIM

2
SHEET 133HS

SURVEYORS CERTIFICATE

[illegible]

That I have fully complied with the provisions of Chapter 216 of the Wisconsin Statutes and the City of Appleton subdivision ordinance in surveying, dividing and mapping the same.

That I have made such land division and plat by the direction of owners, shown below.

That I have fully complied with the provision of Chapter 236 of the Wisconsin Statutes, and the subdivision regulations of the City of Appleton in surveying, dividing and mapping the same.

Given under my hand this _____ day of _____, 2006.

Thomas M. Kromm, Wisconsin Registered Land Surveyor No. S-2062
 received this 5th day of June, 2006

LEGEND

- = COATING 3/16" NON REBAR
 = COATING 1/4" REBAR
 = 1-1/8" x 30" NON REBAR ST. ROOMING 4.5 LBS./SQ. FOOT
 = MEASUREMENTS OF RECORD
 ALL OTHER LOT CORNERS MONUMENTED WITH 3/4" x 24"
 NON REBAR, ROOMING 1.5 LBS./CUBICAL FOOT
 IS PROPOSED 12" UTILITY EASEMENT (UNLESS OTHERWISE NOTED)

GROSS AREA = 1,278.155 SQ FT

ALL DIMENSIONS ARE MEASURED AND COMPUTED TO THE NEAREST 0.01 FOOT.
ALL ANGLES AND BEARINGS ARE MEASURED AND COMPUTED TO THE NEAREST SECOND.

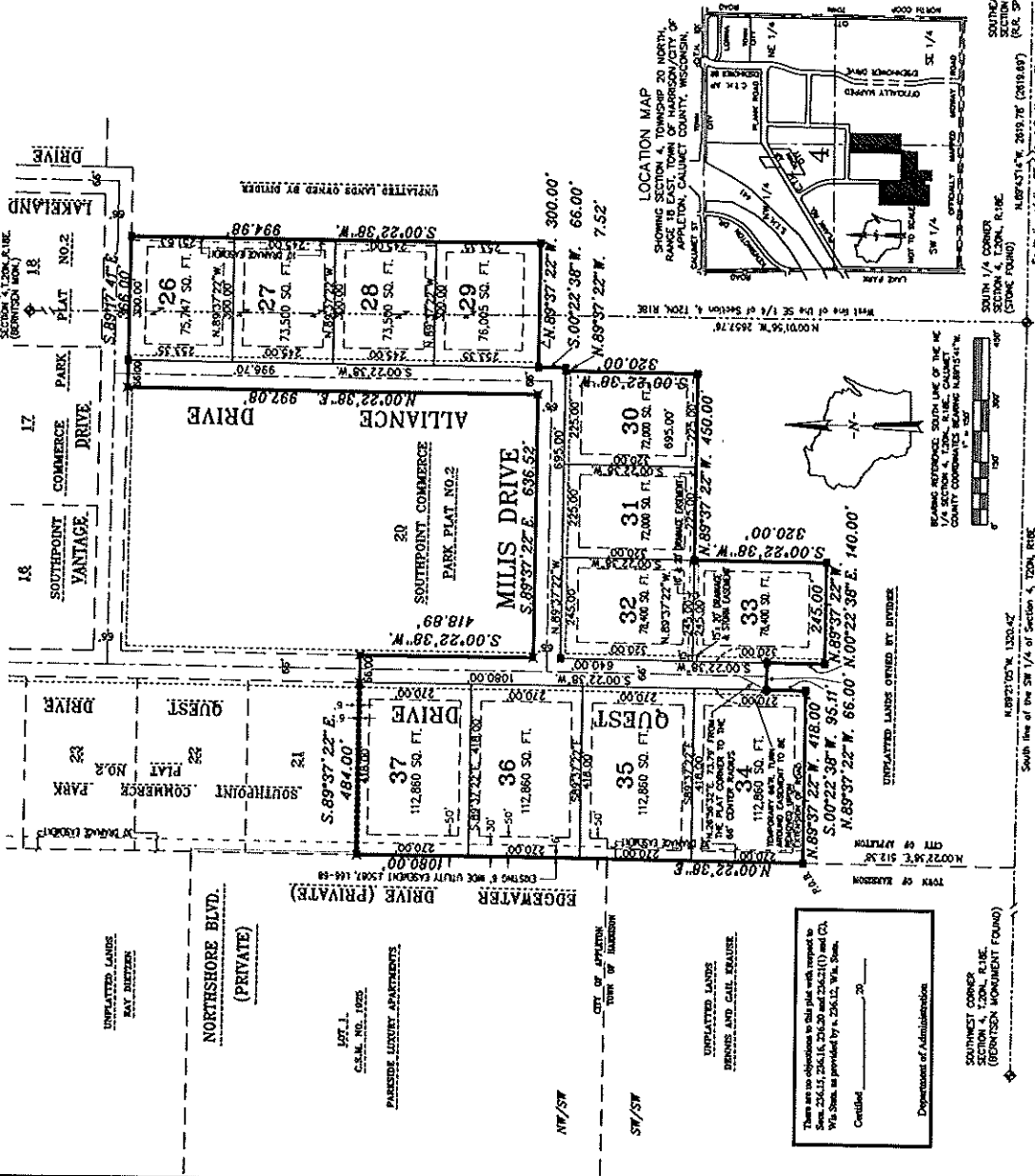
LOT
↑
5 STEEL
TYPICAL BUILDING SETBACK
40' AT FRONT, 25' SIDE AND REAR
(30' REAR YARD AND SIDE YARD W/ ADJUTING

APPROVAL AGENCIES
CITY OF APPLETON

**CITY OF APPLETON
DEPARTMENT OF PUBLIC WORKS**

Engineering Division
100 North Appleton Street
Appleton, WI 54911
(920) 832-6474
FAX (920) 832-6489

THIS INSTRUMENT DRAFTED BY: T. XROMM



Single-Tenant Signage Examples



Guardian



Flair

Multi-Tenant Signage Examples



HFSCA/Wisconsin Oculoplastics



Larson/Rockwell/Ziegler



"...meeting community needs...enhancing quality of life."

MEMORANDUM

TO: Community and Economic Development Committee

FROM: Matt Rehbein, Economic Development Specialist

DATE: March 5, 2018

RE: Business/Industrial Park Land Prices

Staff completes an annual review of the selling price of land in the City's business/industrial parks to see how competitive Appleton is with surrounding communities. Currently, the selling price of land in the City of Appleton's Southpoint Commerce Park is \$40,000.00/Acre and \$45,000/Acre for lots fronting on Plank Road and Eisenhower Drive.

The City of Appleton sold the last of its remaining inventory in the Northeast Business Park in 2016. There are currently 10 lots that are privately held and not developed in the Northeast Business Park and 1 lot in the Southpoint Commerce Park subject to the City's right to repurchase. Privately owned, undeveloped lots are flagged in the City's AS400 system, and notification is given on the real estate inquiry form to ensure the City's right to repurchase is triggered as appropriate.

In the Southpoint Commerce Park, there are 31 fully improved lots available, consisting of approximately 100 acres. Lots 7 & 8 were sold in 2017 (details in attached Industrial Land Sales Comparison – Exhibit A) and completion of both buildings is anticipated early in 2018. In addition, Encapsys completed construction of their headquarters building in Southpoint in late 2017. The City has an additional 175 acres in Southpoint that are undeveloped. All available lots in the Southpoint Commerce Park are served by regional stormwater detention, and a wetland delineation was completed in 2016. See attached map for the available lots in Southpoint.

In order to ascertain how competitive Appleton is with neighboring communities, staff prepared an Industrial Land Asking Price Comparison (Exhibit B). Data was gathered from: direct contact with sellers, CoStar (which is a commercial real estate listing and comparable data service), and the Wisconsin Department of Revenue. There are additional lots marketed as available for industrial in the Fox Cities, but many of those could also be commercial which commands a much higher price and are not good comparables. All referenced industrial lots are broken down into one of three categories:

- 1) Municipally owned lots available for sale.
- 2) Privately owned lots available for sale.
- 3) Recent sales comparison.

In determining the sale price of lots, staff considers several factors, including the City's investment in creating the business park, cost to develop at these locations, competitive lot pricing, and uses of the property. It should also be noted that land pricing is but one component of actual "cost" when a business is considering a purchase in a business/industrial park. Infrastructure, access, availability of TIF financing and other incentives are all factored in.

Site selectors and businesses seeking new locations have shared with staff that the ability to respond quickly and creatively is crucial to landing deals. This has proved true for all recent transactions. Each company is going to have different priorities, such as land price, infrastructure, TIF contributions, etc. Having entered the final 5 years of the life of TIF #6, we are no longer able to make new investments from TIF #6. This further increases the importance for the City to be in a position to act quickly and decisively when transactions come forward to ensure we secure sales in the business/industrial parks. We have been successful in doing this with both sale transactions in 2017.

The industrial market for lease and purchase space has been tightening up over the past few years creating a scarcity of large industrial space. As a result, we have seen increased activity in the Southpoint Commerce Park.

Based on this analysis, staff would recommend the City maintain its current selling price of \$40,000 to \$45,000 for business/industrial park land. This puts Appleton in the middle range with regard to land prices.

Staff Recommendation:

The City of Appleton maintain its current selling prices for business/industrial park land as follows:

Southpoint Commerce Park

Lot 9 fronting Eisenhower Drive - \$45,000/Acre

Lot 14 fronting on Plank Road - \$45,000/Acre

All interior lots - \$40,000/Acre

Note: Land prices are for fully improved lots and include the cost of concrete pavement.

EXHIBIT A**2010-2017 INDUSTRIAL LAND SALES COMPARISON (Municipal & Private Sales)**

Location	Sale Price	Size (In Acres)	Price/Acre	Sale Date	
Oak Grove Rd. Prosperity Ctr., Kaukauna	\$186,200	4.90	\$38,000	Sep-17	Lot 6
Oak Grove Rd. Prosperity Ctr., Kaukauna	\$117,800	3.10	\$38,000	Sep-17	Lot 8
Oak Grove Rd. Prosperity Ctr., Kaukauna	\$117,040	3.08	\$38,000	Sep-17	Lot 9
CB & Rockwood Ln., Neenah (Town of)	\$208,623	10.60	\$19,681	Sep-17	Stuff-N-Storage (A-2 General Farming zoning)
Endeavor Dr., Appleton (SPCP)	\$132,000	3.30	\$40,000	Aug-17	Manda Panda Properties
Endeavor Dr., Appleton (SPCP)	\$150,300	3.34	\$45,000	Aug-17	Alco Tech
Integrity Way, Grand Chute	\$83,000	2.72	\$30,503	Jan-17	
Plank Rd. & Eisenhower, Appleton (SPCP)	\$329,400	7.32	\$45,000	Sep-16	Encapsys
Kaukauna Ind. Park	\$79,800	2.10	\$38,000	May-16	NorthStar Coop
Capitol Dr., Appleton (NEBP)	\$75,950	2.17	\$35,000	Mar-16	Romenesko Developments, Inc.
Goodland/Conkey, Appleton (NEBP)	\$100,000	2.69	\$37,175	Dec-15	Quantum Healthcare
Kaukauna Ind. Park	\$228,000	6.00	\$38,000	Jul-15	Polyflex
Capitol Dr., Appleton (NEBP)	\$155,750	4.45	\$35,000	May-15	RP5, LLC
Goodland Dr., Appleton (NEBP)	\$115,200	2.88	\$40,000	Apr-15	Farrell Investments
Lakeland Dr., Appleton (SPCP)	\$58,000	1.37	\$42,336	Sep-13	Flair
Conkey St., Appleton (NEBP)	\$96,600	2.22	\$43,514	May-10	Endeavor Electric
41 & Roemer, Appleton (NEBP)	\$42,500	1.00	\$42,500	May-10	GTR Leasing (Energy Control & Design)
Neenah	\$0	5.00	\$0	Jul-05	City of Neenah to Plexus

*SPCP=Southpoint Commerce Park

**NEBP=Northeast Business Park

Sources:

Seller Contact

CoStar

WI Dept. of Revenue

EXHIBIT B

INDUSTRIAL LAND ASKING PRICE COMPARISON

Municipally Owned Land Asking Price Comparison

<i>Municipality</i>	<i>Ask Price/Acre</i>	<i>Regional Stormwater</i>	<i>Concrete Streets</i>	<i>Utilities</i>	<i>Incentives</i>
Appleton	\$40,000-45,000	Y	Y	Y	Project reinvestment upon certificate of occupancy
Neenah	\$35,000	Y	Y	Y	TIF/Land grant
Menasha	\$52,400	Y	Y	Y	TIF
Kaukauna	\$38,000	Y	Y	Y	Redevelopment Authority loans

Privately Owned Land Asking Price Comparison (Over 10 acres, per CoStar listings)

<i>Municipality of Private Property</i>	<i>Ask Price/Acre</i>	<i>Largest Contiguous Lot (In Acres)</i>	<i>Location</i>	<i>Notes</i>
Menasha	\$34,900	77.00	Hwy BB & Irish Rd.	
Neenah	\$36,000	63.14	Cty BB & N. Clayton	
Kaukauna	\$33,269	26.30	N2380 Bodde Rd.	
Neenah	\$18,900	100.00	2689 Cty II	Possible commercial/industrial/multifamily/residential
Greenville	\$65,434	12.99	W6369 Levi Dr.	Air North Business Park
Greenville	\$50,000	16.00	Mayflower & GV	
Menasha	\$27,500	39.60	N8972 Cty Rd. N	
Grand Chute	Up to \$67,913	29.23	W. Prospect & High	

Sources:

Seller Contact
CoStar
WI Dept. of Revenue

Southpoint Commerce Park Appleton, Wisconsin

Legend

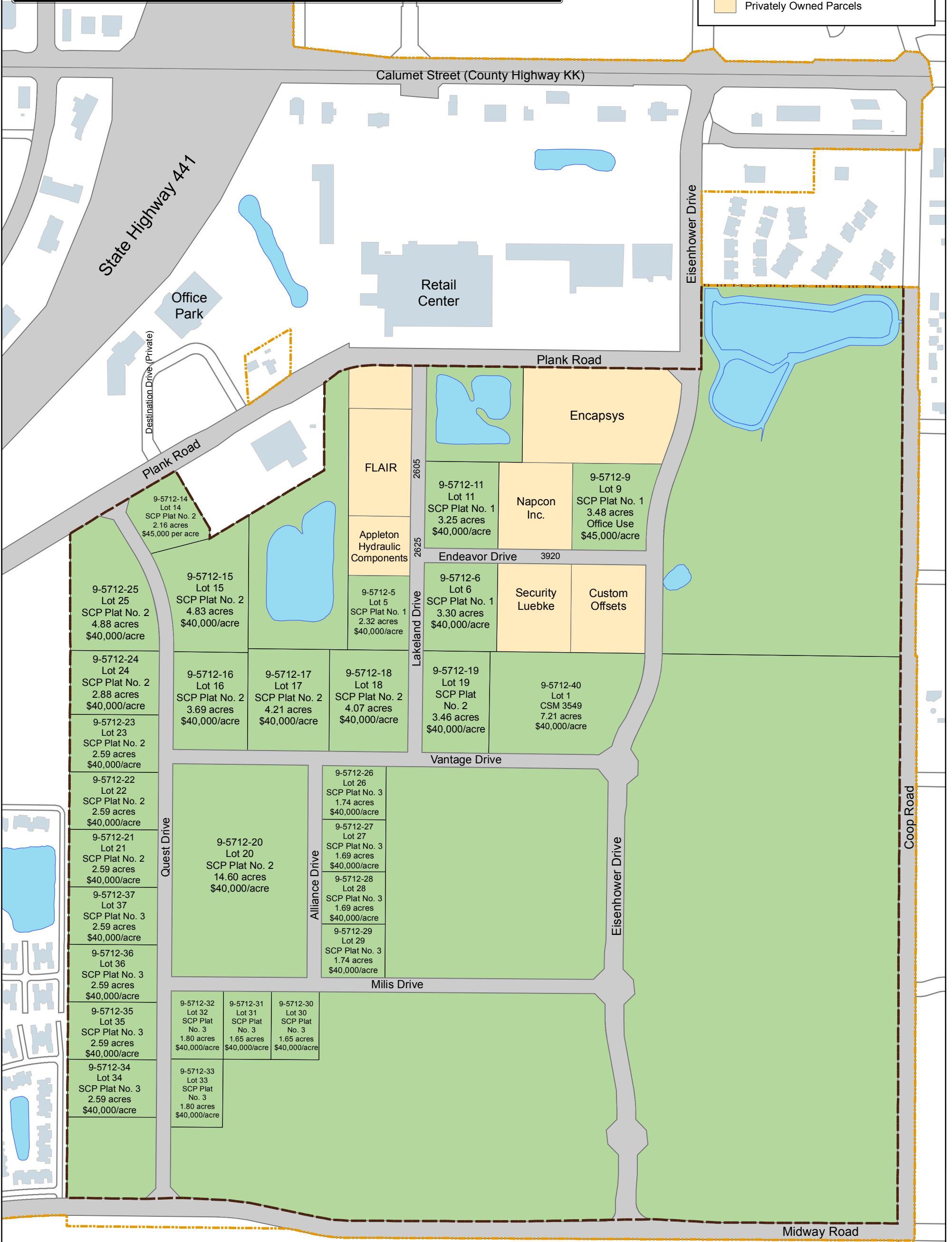
 City Limits

 Park Boundary

 For Sale (City Owned)

 Properties for Sale (Privately Owned)

 Privately Owned Parcels



0 250 500 1,000 Feet



"...meeting community needs...enhancing quality of life."

MEMORANDUM

TO: Community and Economic Development Committee

FROM: Laura Bonnet, Housing Coordinator

DATE: March 8, 2018

RE: Appeal to Allow Short Sale by Hillary Minor (n/k/a Hillary Line)

Michael and Hillary Minor received a loan in 2011 through the Homeowner Rehabilitation Loan Program in the amount of \$11,545.00. This was for work to improve their home at 1426 N. Durkee Street. Much of the work done was lead abatement work that made the home lead safe and code compliant.

The Minors were divorced in 2016. Michael was allowed to remain in the home. A divorce decree states that Hillary was aware that he would allow the home to go into foreclosure, he would file bankruptcy, and she would be responsible for 50% of the unpaid judgments.

Since 2016, the home did go into foreclosure, Michael did file for bankruptcy, and he is now deceased. Hillary is trying to sell the property on a short sale. Originally, she requested that her loan with the City be forgiven. That request was denied. She is appealing that decision.

The bank has requested that we release our lien in lieu of payment of \$4,500. Our options are as follows:

- A. Deny the request. If the bank proceeds with foreclosure, we would be able to file a deficiency judgment against the property owner for the full amount of the loan.
- B. Agree to the partial payment and forgive the remaining debt.
- C. Negotiate for a higher amount (staff suggests 50% of the loan which is \$5,772.50 since that is what Hillary agreed to in the divorce decree). The bank can respond in two ways:
 - 1. They can deny the request and proceed with a foreclosure (see Option A above).
 - 2. They can accept the request and we would receive partial payment (see Option B above).

Staff Recommendation:

The short sale request by Hillary Minor (n/k/a Hillary Line) for 1426 N. Durkee Street based on a payment of at least 50% of our homeowner rehabilitation loan **BE APPROVED**.



MEMORANDUM

“...meeting community needs...enhancing quality of life.”

TO: Community & Economic Development Committee
FROM: Matt Rehbein, Economic Development Specialist
DATE: March 8, 2018
RE: 2017 Growth Report Summary

Each year, the Community and Economic Development Department prepares an Annual Growth Report (Report). The purpose of the Report is to analyze growth figures over a period of ten years to determine if Appleton is capturing its historically proportionate share of growth.

OVERALL GROWTH

The City uses three primary measures of growth for the purpose of the Annual Growth Report. 1) building permits, 2) equalized value, and 3) net new construction. A description and summary of each measure is listed below.

PERMITS

- In 2017, Appleton issued a total of 407 construction permits, below the 10-year average number which is 515. Much of this decrease is due to reductions in commercial and multi-family permits.
- The City of Appleton saw an increase in the number and dollar value of construction permits in 2017. Total dollar value of permitted construction of \$115,948,406 in 2017 is well above the 10-year average of \$83,846,201.
- The City of Appleton ranked third in dollar value of residential construction for the region based on permits in 2017 with \$16.8 million. Leading the dollar value of single-family permits was Grand Chute (\$21.4M), followed by Greenville (\$17.2M). Appleton ranked 5th in the number of permits issued, behind Grand Chute (82 permits), Kaukauna (63 permits), Greenville (63 permits), and Harrison (57 permits). The City of Appleton issued 49 single-family residential permits in 2017.

EQUALIZED VALUE

- The equalized value is the estimated value of all taxable real and personal property in each taxation district, by class of property, as of January 1, and certified by Department of Revenue (DOR) on August 15 of each year (Definition: Wisconsin Dept. of Revenue). Equalized value allows for comparison across communities because it is standardized by the DOR, rather than assessed value which can vary by community.
- All communities in the Fox Cities increased in equalized value in 2017. On average, values increased by 5.95%. By comparison, the City of Appleton's equalized value increased by 5.75%. 5% of this adjustment is attributable to the changes made to the assessment ratio as set by the State Department of Revenue.

NET NEW CONSTRUCTION

- Appleton saw net new construction of \$72 million (an increase of 1.39%) in 2017 accounting for 23% of the total net new construction in the Fox Cities. The average net new construction increase across the Fox Cities averaged 1.71%, and Appleton represents 28% of Fox Cities Equalized Value. This is significant because municipalities use the percentage increase of net new construction as a valuation factor in determining the allowable tax levy for the City.

OTHER CONSIDERATIONS

While the hard numbers related to growth are important to measure, we also take a look at other factors that impact investment in our community for the purpose of the Growth Report. Of note are the following statistics.

EMPLOYMENT & UNEMPLOYMENT

- The City of Appleton had an annual average unemployment rate in 2017 of 3.1%, a decrease from the annual unemployment rate of 3.9% for 2016. This is significant as businesses from all sectors are experiencing a shortage of workers. When considering whether to stay, expand, or relocate, the availability of labor is always a considerable factor.
- Within the Appleton MSA, the employment sector of manufacturing continues to lead in terms of employment numbers providing 22,869 jobs with average annual earnings of \$4,790 per month. It is worthy of note that 3 of the top 4 employment sectors by number of jobs provide earnings less than the average across all 10 employment categories.

TAX INCREMENTAL FINANCING DISTRICTS

- Overall, the City realized an increase in value across all six TIF Districts of 7.17%. This is not surprising due to the 2017 adjustment to the Citywide assessment ratio as set by the State of Wisconsin Department of Revenue. This adjustment by the State resulted in an approximately 5.0% increase in value before taking into consideration any new property values. Specific performance across all TIF Districts is further explained in the report.

SUMMARY

Looking at the three measures of growth referenced at the beginning of this report (permits, equalized value, and net new construction), the City of Appleton captured 24.89% of the total dollar value of permits in the Fox Cities, 27.33% of the increase in equalized value, and 23% of net new construction for the region.

All of these measures are slightly below the City's percentage of equalized value throughout the Fox Cities of 28%. We will have to continue to be proactive in creating a location where businesses, developers and individuals wish to invest their resources if we wish to maintain our proportionate share of growth.



CITY OF APPLETON
Community & Economic
Development Department
March 8, 2018

GROWTH REPORT

2017

CITY OFFICIALS

Timothy Hanna, Mayor
James Walsh, City Attorney
Kami Lynch, City Clerk

2017 COMMON COUNCIL

District 1: William Siebers
District 2: Vered Meltzer
District 3: Curt Konetzke
District 4: Joe Martin
District 5: Ed Baranowski
District 6: Greg Dannecker
District 7: Kathleen Plank
District 8: Matthew Reed

District 9: Bob Baker
District 10: Christine Williams
District 11: Patti Coenen
District 12: Cathy Spears
District 13: Kyle Lobner
District 14: Christopher Croatt
District 15: Keir Dvorachek

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

Karen Harkness, Director
Monica Stage, Deputy Director
Matt Rehbein, Economic Development Specialist
Laura Bonnet, Housing Coordinator
David Kress, Principal Planner
Don Harp, Principal Planner
Jessica Titel, Principal Planner
Nikki Gerhard, Grants Administrator
Mark Lund, GIS Specialist
Jessica Schneider, GIS Specialist
Heath Anderson, GIS Specialist
Deann Brosman, City Assessor
Tim Smith, Property Assessor
Dan Steenbock, Property Assessor
Matt Tooke, Property Assessor
Lona Thelen, Personal Property Clerk
Karen Pietila, Real Estate Assessment Clerk
Brenda Broeske, Administrative Assistant

Table of Contents

Introduction.....	1
Income.....	1
Labor Statistics	1
Unemployment Statistics	3
Cost of Living Comparisons	5
Building Permit Activity	7
Equalized Value	13
Tax Incremental District Performance	16
Business Development	22
Housing Rehabilitation Projects	25
Neighborhood Program	26
Prospects for Growth.....	28
Barriers to Growth.....	29
Strategy/Marketing.....	32



City of Appleton, Community & Economic Development Department, 100 N. Appleton Street, Appleton WI 54911
TEL (920) 832-6468 FAX (920) 832-5994 www.appleton.org www.facebook.com/appletoncityhall



INTRODUCTION

Each year, the Community and Economic Development Department prepares an Annual Growth Report (Report). The purpose of the Report is to analyze growth figures over a period of ten years to determine if Appleton is capturing its historically proportionate share of growth. The Report looks at Appleton's building permit activity, equalized valuation, and net new construction and compares them with the Fox Cities region. Equalized value is the estimated value of all taxable real and personal property in each taxation district by class of property. This year's Report will compare the City of Appleton to other competitor cities in the State of Wisconsin and throughout the United States that we compete with for jobs and economic development. Other areas addressed include: success in target growth areas, prospects for growth, barriers that need to be overcome to continue growth, and a synopsis of the marketing efforts taken to promote growth.

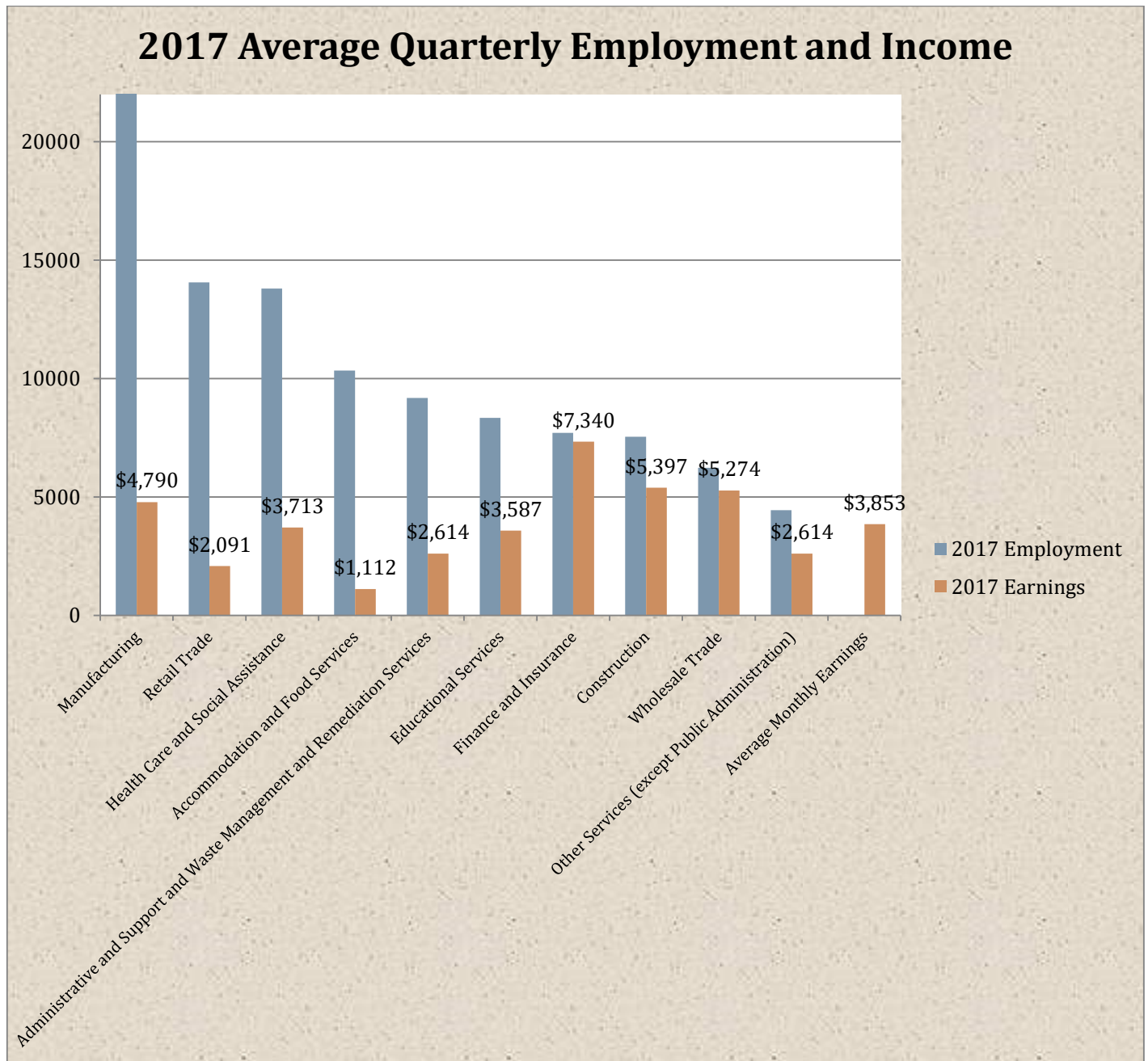
The City of Appleton saw a decrease in the number and increase in dollar value of construction permits in 2017. This increase in value is largely due to commercial permits, more specifically; the Fox Cities Exhibition Center (\$31M), Eagle Point (\$14M) and updates to the Outagamie County campus (\$11.8M). Total dollar value of permitted construction was \$115,948,406 in 2017, which is the highest in the past 10 years and well above the 10-year average of \$83,846,201. The employment base in Appleton and the Fox Cities remains competitive and stable. The City of Appleton's unemployment rate declined slightly from an annual average 2016 rate of 3.9% to 3.1% in 2017. The City's unemployment rate in January 2017 was 3.5% and 2.5% by the end of the year. As a whole, the City of Appleton's Tax Incremental Districts (TID) increased in value by 7.17% due in large part to improvements to existing properties and investments in personal property.

INCOME

According to ESRI data, the median household income for the City of Appleton in 2017 was \$56,258, which is slightly below the median household income of \$56,369 for the State of Wisconsin and slightly above the U.S. average of \$56,124.

LABOR STATISTICS

The City of Appleton and the Appleton Metropolitan Statistical Area (MSA), defined by the Office of Management and Budget (OMB) as Outagamie and Calumet Counties, has a well-established labor force and is known internationally for its industry clusters of food processing, paper industry and manufacturing. The following chart shows the average quarterly employment by industry for the top 10 classifications and average monthly income within the Appleton MSA for 2017 (monthly earnings included in chart).



Source: US Census Bureau – Local Employment Dynamics

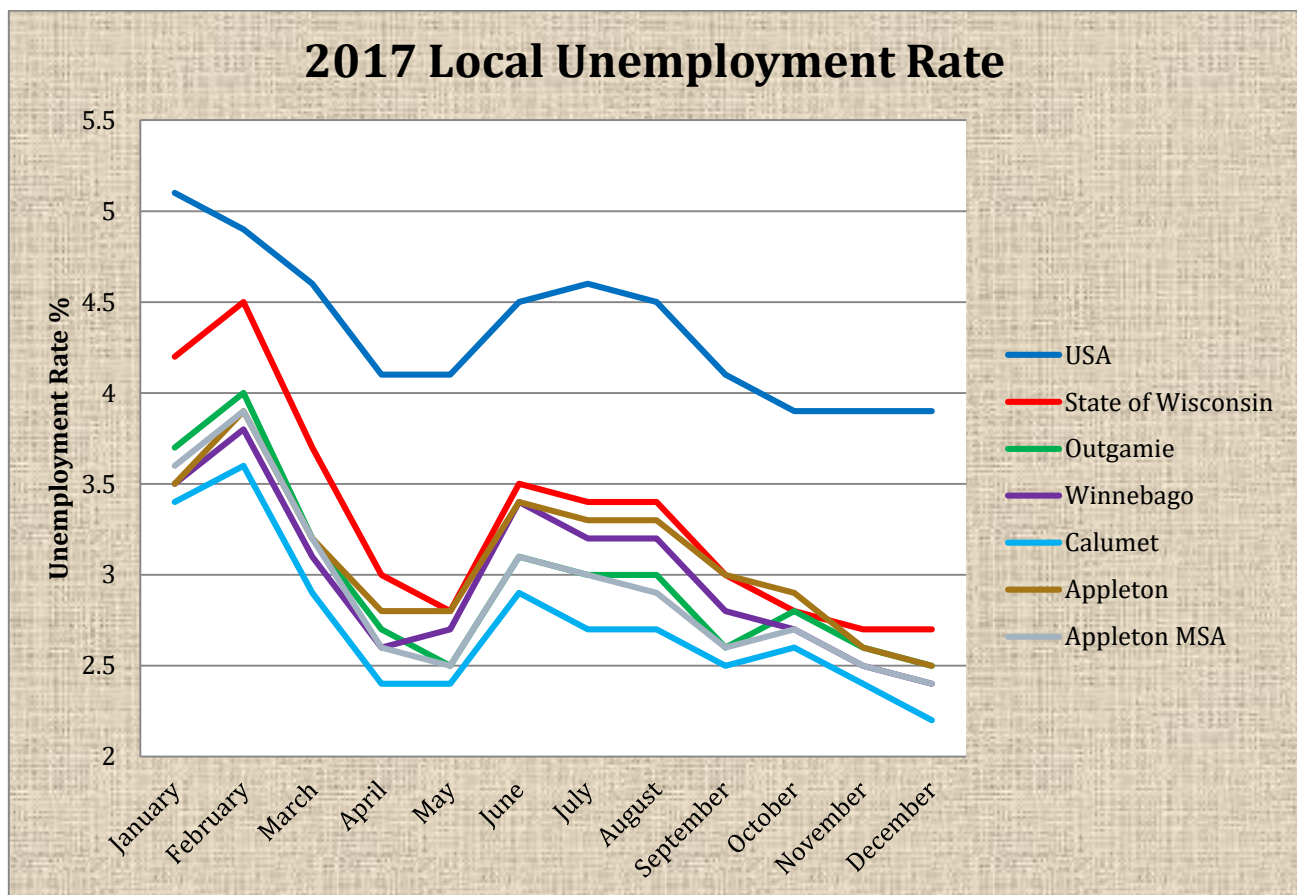
Manufacturing shows the highest quarterly employment, followed by Retail Trade and Health Care and Social Assistance.

Average monthly earnings ranged from \$1,112 to \$7,340 per position for the top ten employment sectors represented. As a reference point, the Department of Housing and Urban Development (HUD) considers a monthly gross household income of \$4,979 or less to be low income for a family of four in the Appleton MSA. It is worthy of note that 3 of the top 4 employment sectors by number of jobs provide earnings less than the average across all 10 employment categories.

It is important that we continue to invest in the necessary infrastructure, economic support, and educational systems to continue the growth of high wage industries to keep the income levels up in our community.

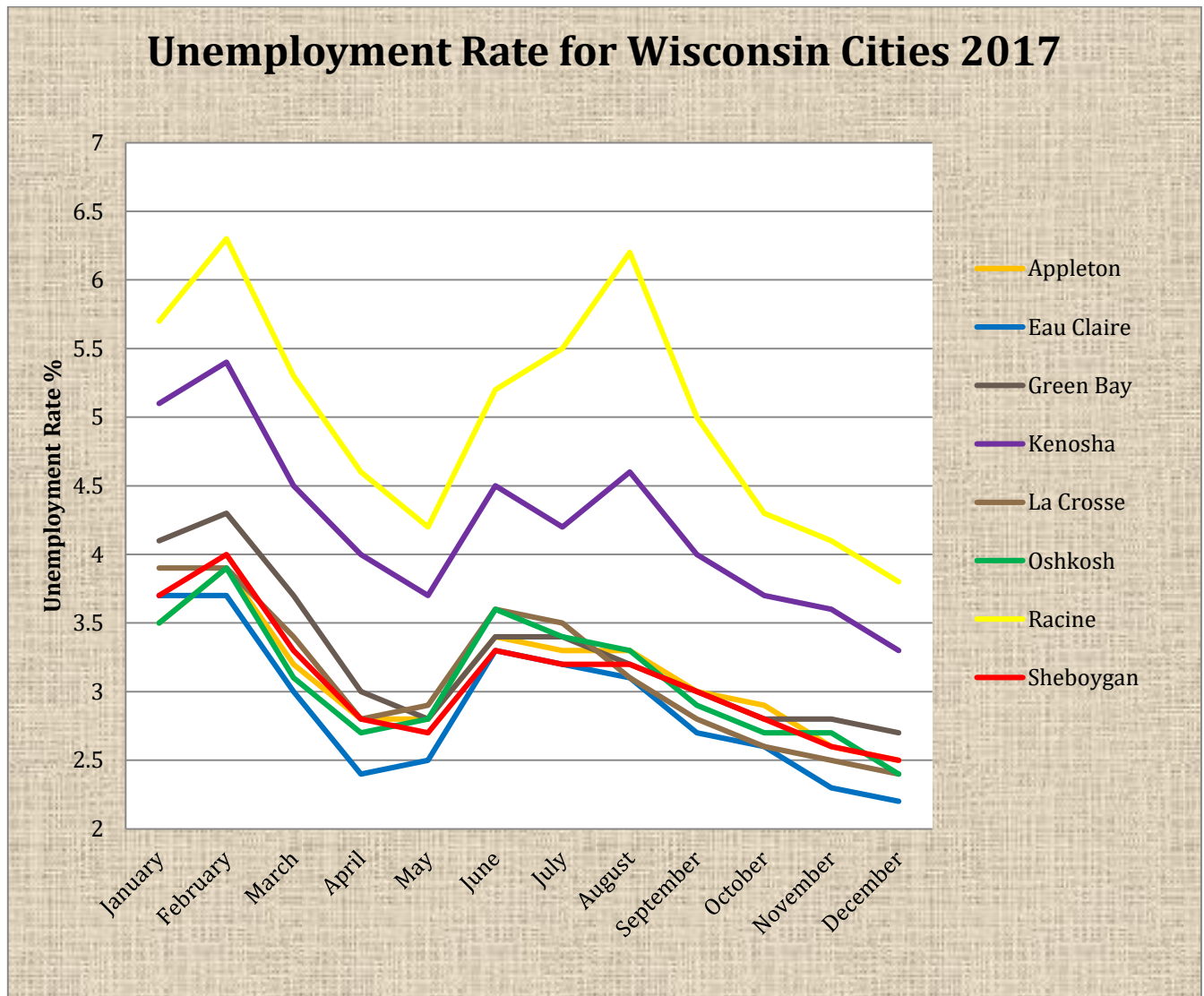
UNEMPLOYMENT

The City of Appleton has experienced a steady decline in its unemployment rate over the last year. The City started January 2017 at 3.5% unemployment and concluded the year at 2.5%. The average 2017 unemployment rate for Appleton was 3.1%. Included in the chart are the comparable unemployment rates for the United States, the State of Wisconsin, Appleton MSA, and the counties of Winnebago, Outagamie, and Calumet. The unemployment rate for the City of Appleton consists of persons who file an unemployment claim and live within the corporate City limits of Appleton.



Source: State of Wisconsin Department of Workforce Development

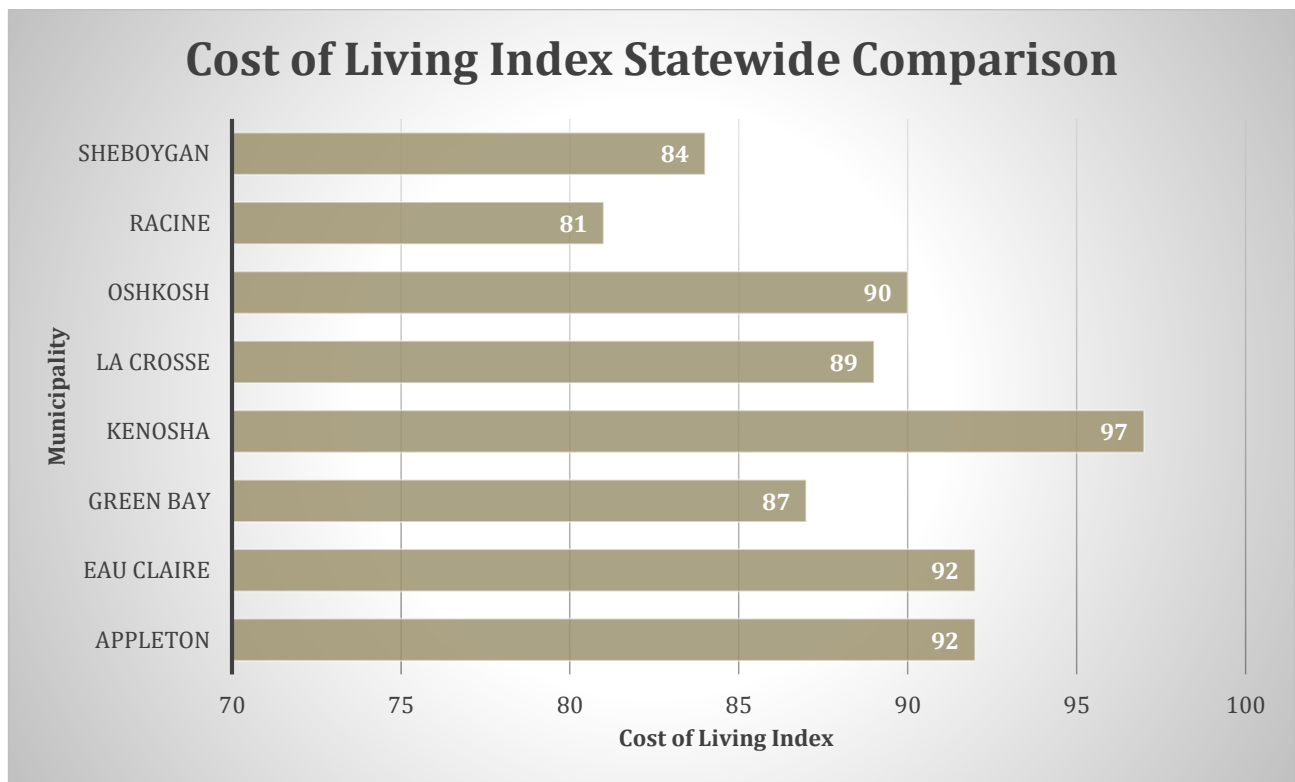
The following chart shows the average unemployment rate of the medium size cities in the State of Wisconsin. The City of Eau Claire saw the lowest average unemployment rate of 2.9% in 2017, while the City of Racine had the highest unemployment rate of 5.0%. The City of Appleton, La Crosse, Oshkosh and Sheboygan all had the second lowest unemployment rate in 2017, ending the year at an average of 3.1%. This trend will be important to watch as there are many employers looking to hire in the Appleton area and beyond. To maintain competitiveness, availability of skilled workers is crucial.



Source: State of Wisconsin Department of Workforce Development

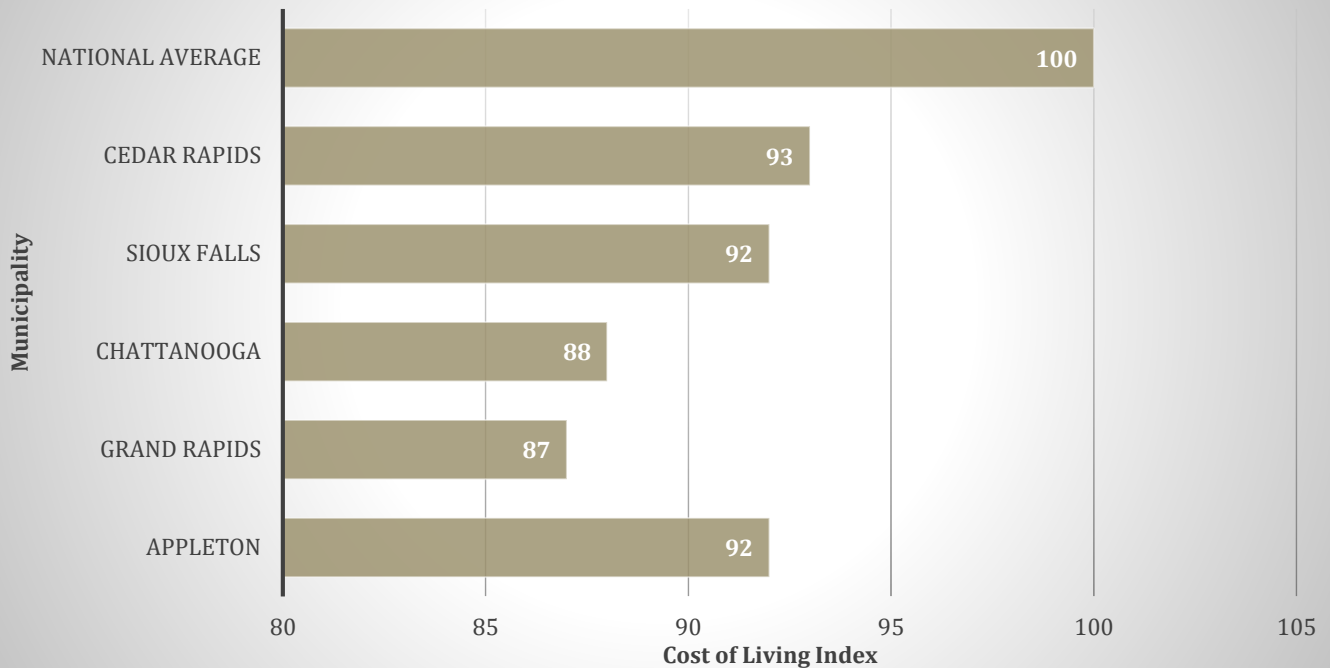
COST OF LIVING

The cost of living index is a number used as the total of all living expense categories. The categories used to determine the index include housing, food and groceries, transportation, utilities, health care, and miscellaneous expenses such as clothing, services, and entertainment. The definition of these variables that are evaluated for each index is included below. The City of Appleton has a cost of living index of 92 which compares favorably to the national average of 100. Appleton's rating of 92 is near the middle when compared to other communities across the State and Midwest. Compared to the nearby communities of Green Bay and Oshkosh, Appleton's cost of utilities, healthcare, and transportation were the highest, resulting in the higher cost of living overall among the three. The first chart below compares the City of Appleton to the other midsize cities in Wisconsin; the second chart, on the following page, compares Appleton to competitor cities throughout the United States.



Source: www.bestplaces.net

Cost of Living Index National Comparison



Source: www.bestplaces.net

Categories used to calculate the cost of living index are listed below along with the City of Appleton's ranking out of 100 in parentheses():

Food (94.6): The average cost of food and groceries, not including restaurants.

Housing (70): The average cost of an area's housing which includes mortgage payments, apartment rents, and property taxes.

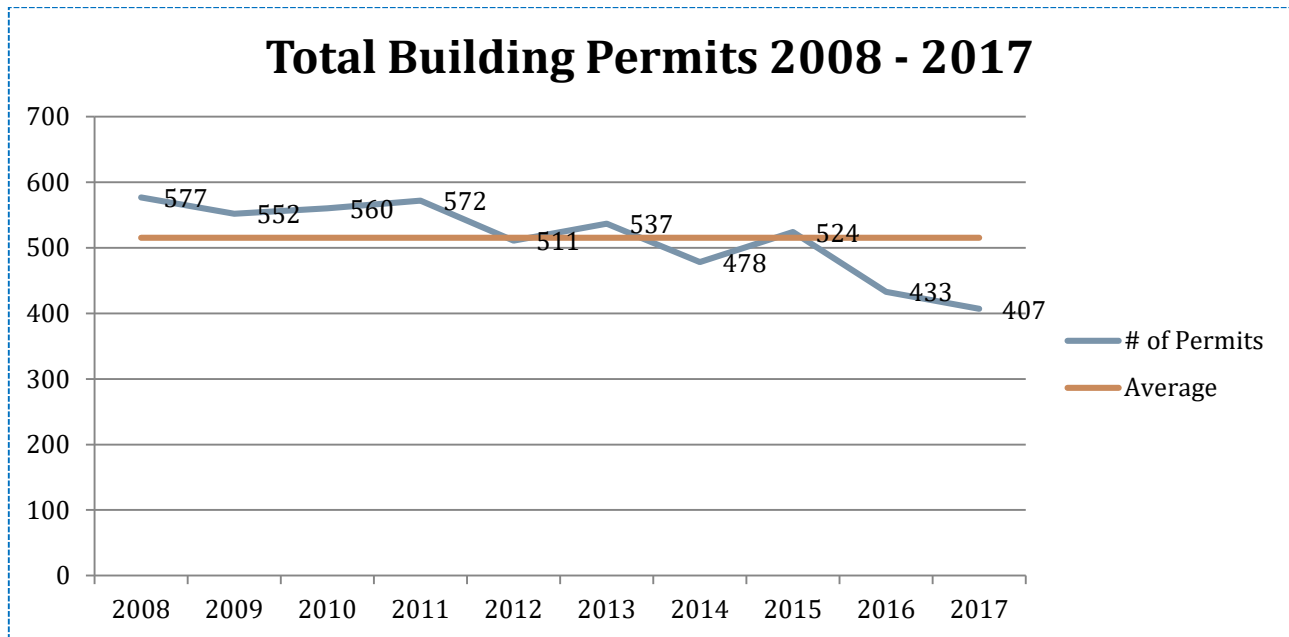
Utilities (113): The average cost of heating and cooling a typical residence for the area, including electricity and natural gas.

Transportation (108): The average cost of gasoline, car insurance, and maintenance expenses and mass transit expenses for the area. (Cost of the vehicle and vehicle registration and licensing taxes not included.)

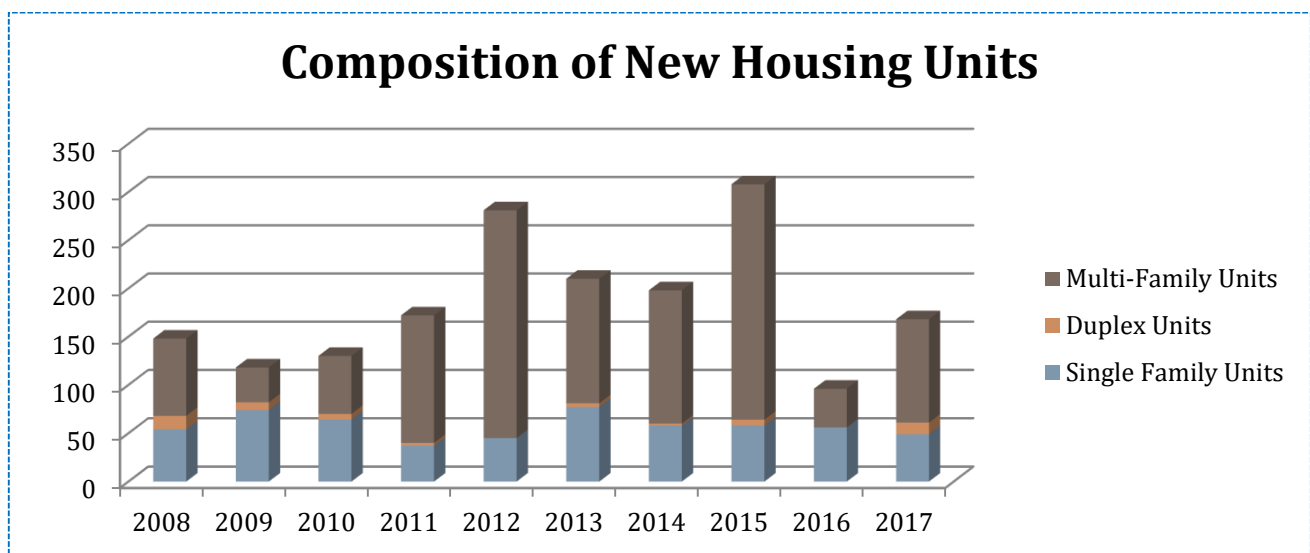
Health (108): The average cost of health care calculated using the standard daily rate for a hospital room and the costs of a doctor's office visit and a dental checkup.

BUILDING PERMIT ACTIVITY

The City of Appleton's building permit activity over the last ten years is shown below. The yearly total number of permits issued ranged from a low of 407 permits in 2017 to a high of 577 permits in 2008. The 10-year average was 515 permits a year. The majority of the decrease was seen in the single-family and remodel/additions categories.



The number of single-family homes constructed in 2017 was 49, which is a 7 home decrease from 2016. Total housing unit construction in Appleton increased in 2017 to 168 units from 96 units in 2016. This is primarily due to the 107 multi-family units brought to market in 2017.

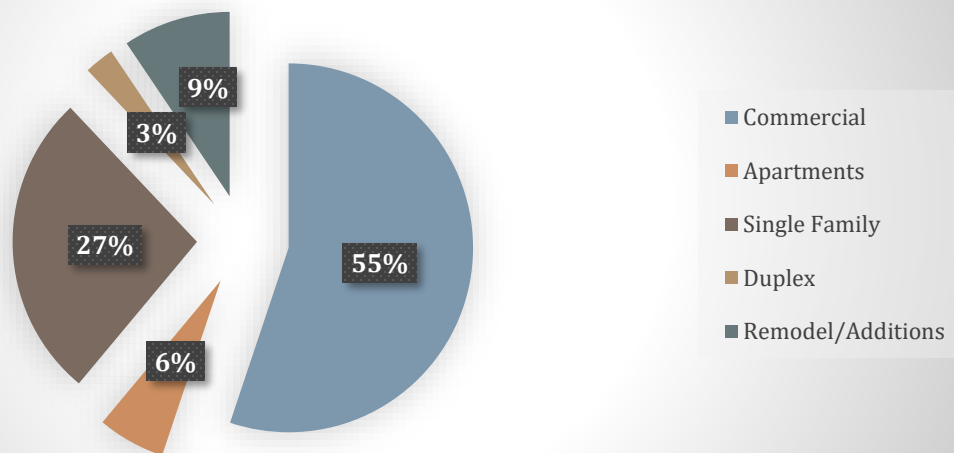


DOLLAR VALUE OF PERMITS

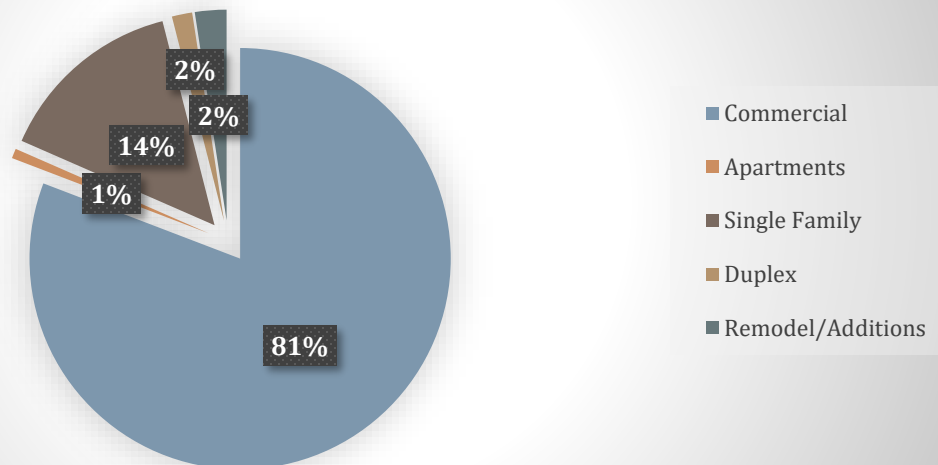
Appleton's total dollar value of construction in 2017 was \$115,948,406 which is an increase from the 2016 number of \$80,795,345 and well above the 10-year average of \$83,846,201. The total dollar value of all construction in the City of Appleton between 2008 and 2017 ranged from a low of \$41 million in 2011 to this year's record of \$115,948,406. A significant contributor to the 2017 high dollar value of construction is from commercial permits.

A comparison of the composition of permitted value in Appleton vs. the Fox Cities overall is to follow. As a percentage of total construction dollars spent, it is clear commercial is the category where most growth has occurred with 81% of permit value in the City and 55% of permit value throughout the Fox Cities.

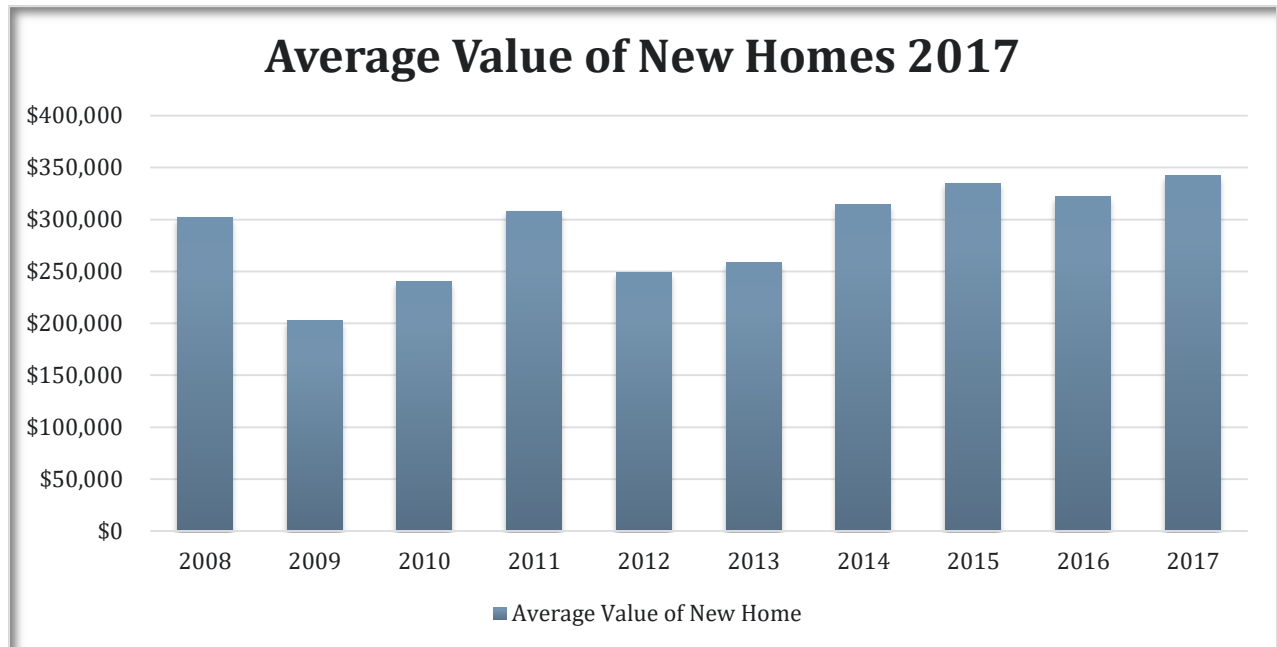
Construction Permit Value Breakdown - Fox Cities



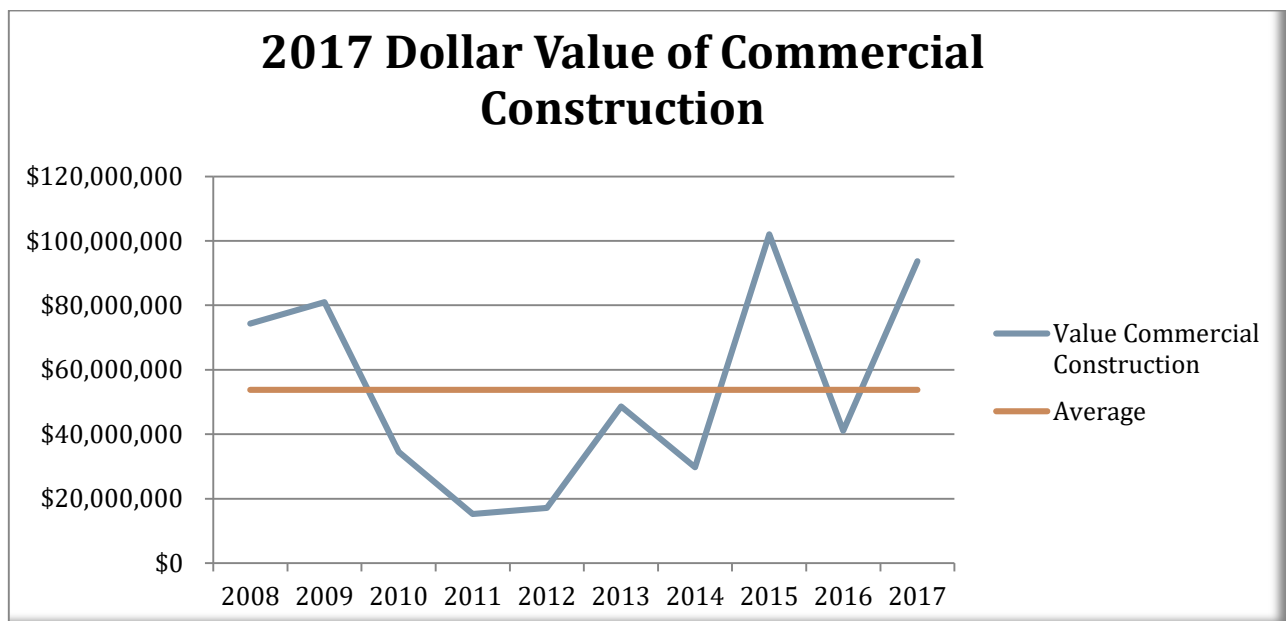
Construction Permit Value Breakdown - Appleton



The number of single-family permits decreased from 56 to 49 in 2016 and 2017 respectively. The total dollar value of single-family permits decreased to \$16,765,400 from \$18,028,796, with an average permit value of new home construction at \$342,151 in 2017 compared to \$321,943 in 2016.



Commercial construction permit values increased in 2017 to \$93,702,991 from 2016's \$41,070,011 in estimated value. This increase is attributable largely to the Fox Cities Exhibition Center (\$31M), Eagle Point (\$14M) and updates to the Outagamie County campus (\$11.8M).



To follow is a list of commercial and multi-family projects started in 2017 over \$1M in estimated value based on permits. Projects over \$1M provided for \$78,933,933 in construction value in 2017; however, \$63,803,098 of that is for properties exempt from taxes.

2017 PERMITS IN APPLETON OVER \$1,000,000

Owner	Address	Estimated Cost (\$)	Reason	Description	Taxable Status
CITY OF APPLETON	355 W LAWRENCE ST	31,000,000	NEW BUILDING	FOX CITIES EXHIBITION CENTER	N*
ASHRE LLC	955 E JOHN ST	14,000,000	NEW BUILDING	EAGLE POINT	N
OUTAGAMIE COUNTY	410 S WALNUT ST	11,803,098	ADDITION	JUSTICE CENTER ADDITION AND REMODEL	N
APPLETON RETIREMENT LLC	5715 N MEADE ST	8,250,000	NEW BUILDING	PRIMROSE	Y
HARBOR HOUSE DOMESTIC ABUSE PROGRAMS	720 W FIFTH ST	4,100,000	ADDITION	HARBOR HOUSE EXPANSION	N
ST ELIZABETH HOSPITAL INC	1506 S ONEIDA ST	2,468,835	REMODEL INT	ST. ELIZABETH	Y
ALCO TECH PROPERTIES LLC	3989 E ENDEAVOR DR	1,600,000	NEW BUILDING	CUSTOM OFFSETS	N
ALDI INC	2310 S KENSINGTON DR	1,500,000	NEW BUILDING	ALDI STORE	Y
NORTHERN WISCONSIN WAREHOUSES LLC	1840 W SPENCER ST	1,500,000	REMODEL I/E	WAREHOUSE EXPANSION	Y
LIGHTNING OFFICE LLC	3912 N LIGHTNING DR	1,412,000	NEW BUILDING	GLK FOODS	Y
MANDA PANDA PROPERTIES LLC	0 E ENDEAVOR DR	1,300,000	NEW BUILDING	SECURITY LUEBKE	N

*Property tax exempt, however Payment in Lieu of Taxes (PILOT) Agreement in place

MEASUREMENTS SUMMARIZED

The chart on the following page was added last year to demonstrate the relationship between the three measures of value discussed in this report.

PERMIT VALUE OF CONSTRUCTION:

The permitted value of construction is a sum total of estimated construction value identified on permitted projects. This is the most volatile line on this graph as it includes taxable and tax exempt real property. Permit value does not capture personal property investments or adjustments based on market factors.

EQUALIZED VALUE:

The equalized value is the estimated value of all taxable real and personal property in each taxation district, by class of property, as of January 1 and certified by DOR on August 15 of each year (Definition: Wisconsin Dept. of Revenue). Being the largest number (\$4.93B in 2016 vs. \$4.81B in 2015), it is also the least volatile. Equalized values capture the following changes:

- DOR's market field studies
- Demolition or destruction of buildings or other improvements
- Changes in property's exempt status
- Changes in classification of property
- Annexation gains or losses
- Other miscellaneous changes
- Adjustments (corrections) made under State law (Sec. 70.57, Wis. Stats.)

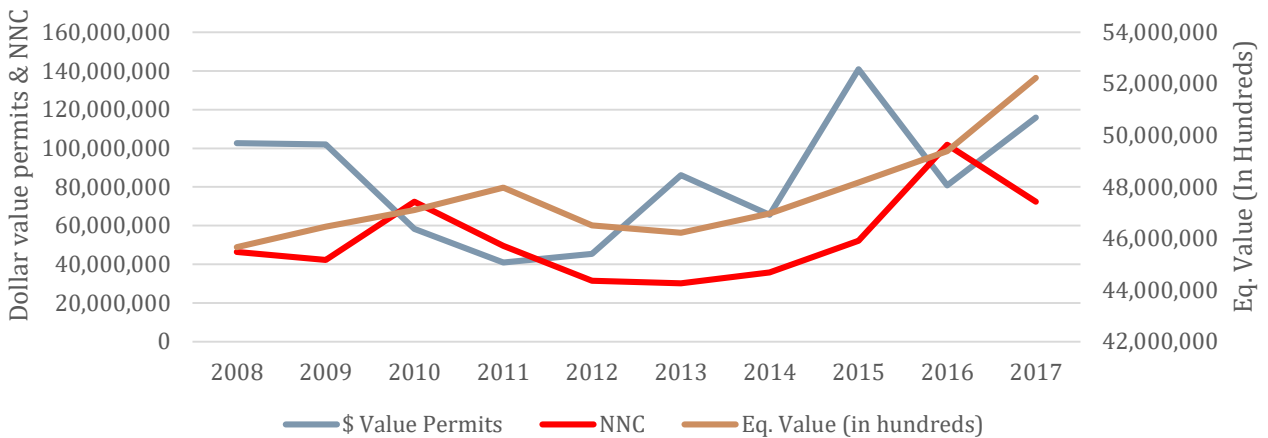
NET NEW CONSTRUCTION:

Net new construction captures the following:

- Land value changes are due to higher land utility
- Improvement value changes are due to construction of new buildings

This is a significant number to pay attention to because it ties directly to the City's available tax levy. A municipality is allowed to increase its levy over the amount it levied in the prior year by the percentage increase in equalized value from net new construction. If no new construction occurred in your community, then your allowable levy increase is zero percent.

City of Appleton Dollar Value of Permits/Equalized Values/Net New Construction



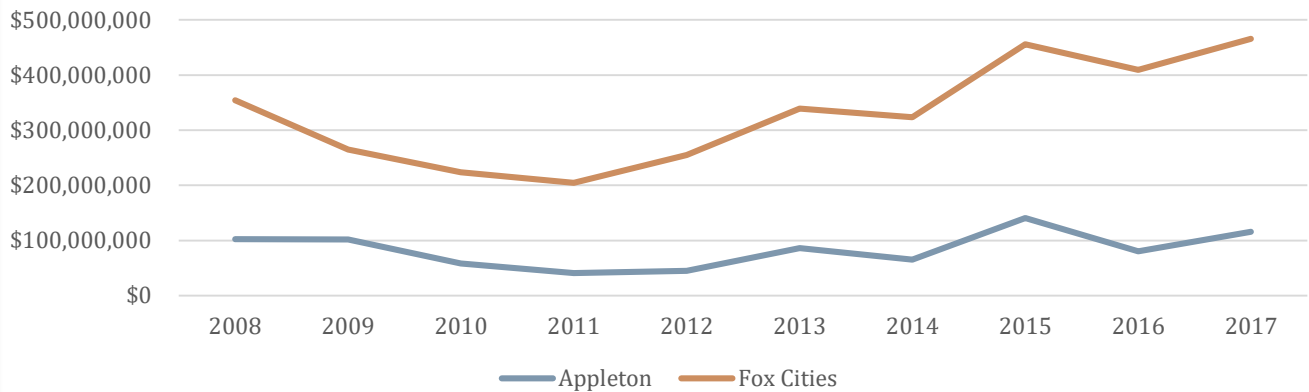
This chart shows that the City can have a lot of permit activity in a year, but if it is not taxable, then net new construction will not rise proportionally.

FOX CITIES REGION CONSTRUCTION VALUE

In an effort to compare Appleton to the Fox Cities region, data was collected from 13 municipalities surrounding Appleton and comprising the Fox Cities. These are the Cities of Kaukauna, Menasha and Neenah; Villages of Combined Locks, Kimberly, Hortonville, Fox Crossing and Little Chute and Towns of Buchanan, Grand Chute, Greenville, Vandenbroek, and Harrison. In 2013, the Town of Harrison incorporated into the Village of Harrison, and these figures include year-end data for both. The Village of Fox Crossing also incorporated in 2016, which resulted in changes to the data in 2017.

The total dollar value of construction in the Fox Cities increased by 11.6% in 2017 to \$465,786,130 from \$409,231,762 in 2016. By comparison, Appleton's dollar value of construction increased by approximately 44% over 2017 going from \$80,793,345 in 2016 to \$115,948,406. The City of Appleton comprised 24.8% of the total dollars spent on construction in the Fox Cities in 2017.

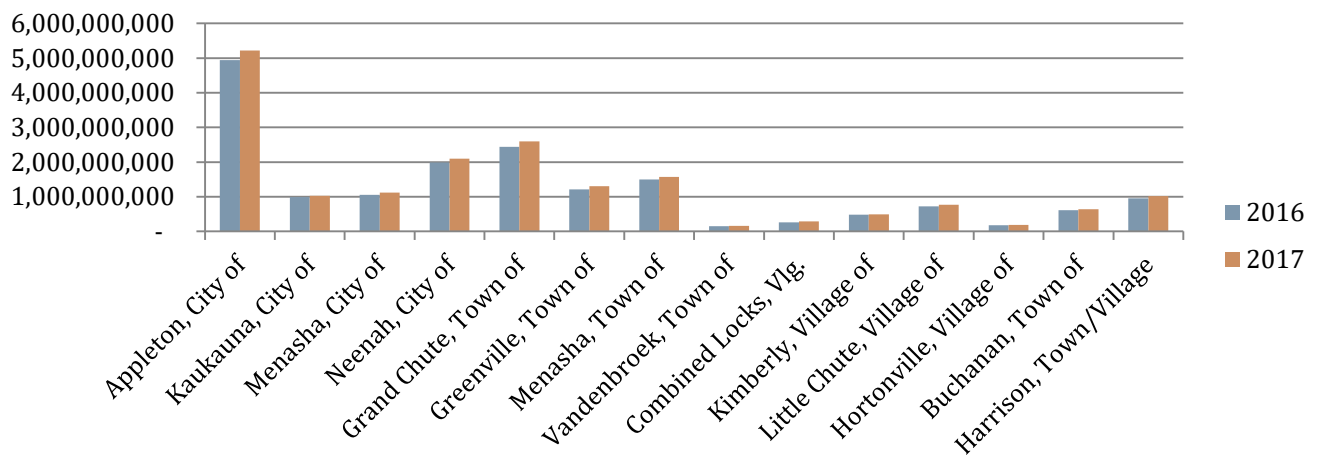
Dollar Value Permits Fox Cities & Appleton



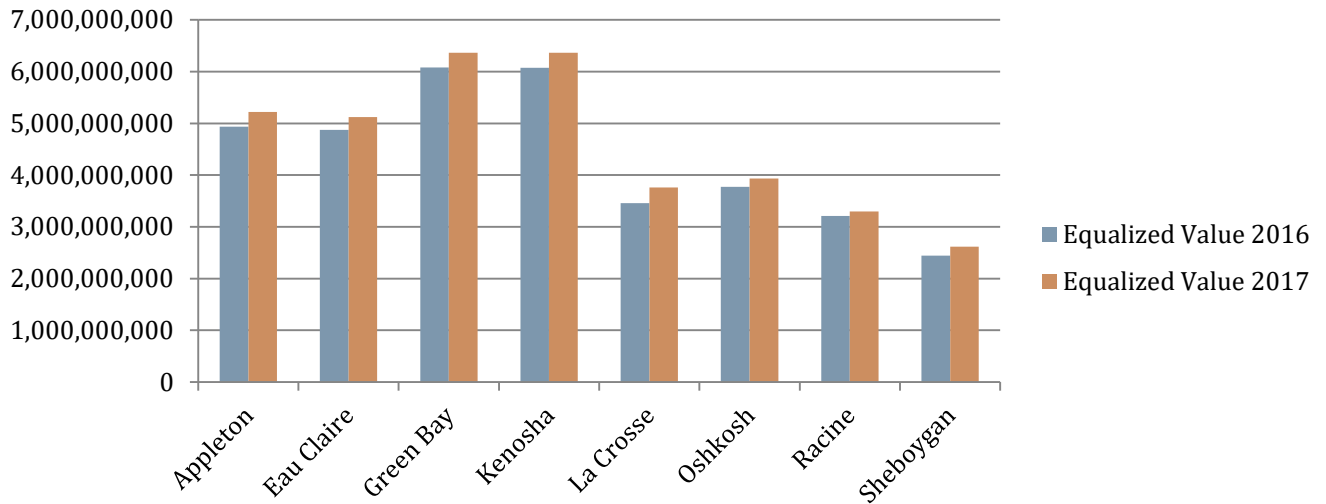
EQUALIZED VALUE

Appleton experienced an increase in equalized values for the City overall of 6%. The following charts compare Appleton's equalized value to the Fox Cities and other midsize cities in the State of Wisconsin.

Equalized Values Fox Cities 2017

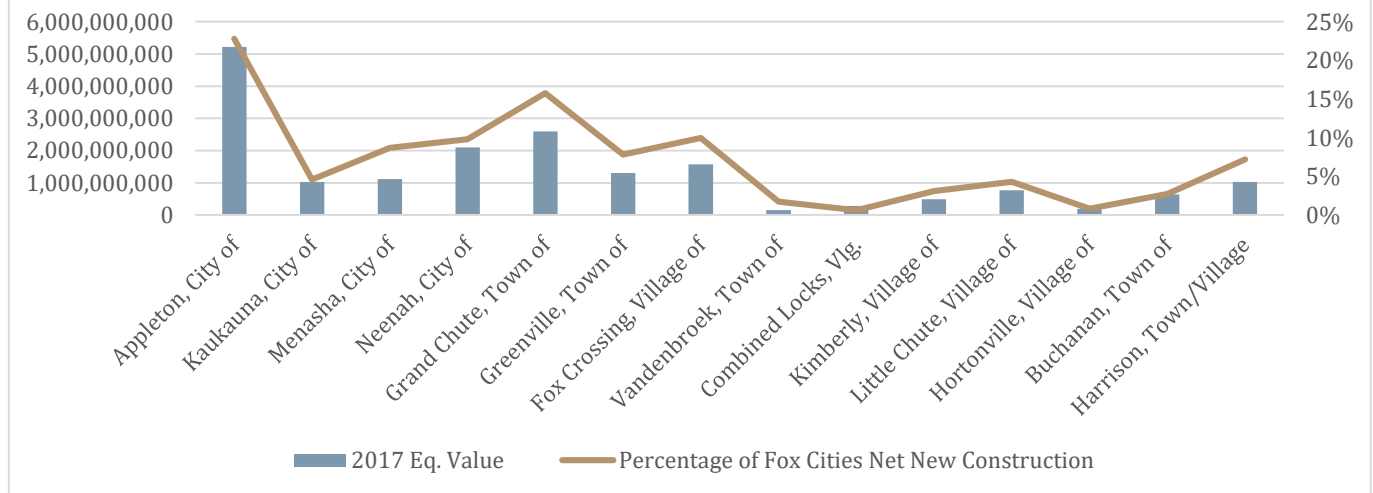


Equalized Values Statewide 2017



In addition to equalized values, the following chart shows the percentage of net new construction captured by each municipality (as a percentage of the Fox Cities) and their equalized values. Municipalities use the percentage increase of net new construction as a valuation factor in determining the allowable tax levy for the municipality.

Net New Construction



Municipality	2017 Eq. Value	Net New Const.	Percentage Increase	% of Fox Cities Net New Const.
Vandenbroek, Town of	157,040,200	5,565,200	3.54%	2%
Menasha, City of	1,117,040,500	27,560,800	2.47%	9%
Calumet County*	3,775,868,100	86,456,100	2.29%	N/A
Harrison, Town/Village	1,022,877,900	22,771,000	2.23%	7%
Fox Crossing, Village of	1,576,693,800	31,566,200	2.00%	10%
Kimberly, Village of	495,368,300	9,878,400	1.99%	3%
Grand Chute, Town of	2,600,378,400	49,973,500	1.92%	16%
Greenville, Town of	1,307,620,200	24,845,300	1.90%	8%
Little Chute, Village of	771,569,100	13,599,300	1.76%	4%
Outagamie County*	14,067,089,500	239,900,400	1.71%	N/A
Neenah, City of	2,095,284,800	31,055,900	1.48%	10%
Kaukauna, City of	1,027,973,700	14,535,000	1.41%	5%
Hortonville, Village of	191,585,000	2,678,800	1.40%	1%
Appleton, City of	5,222,923,900	72,348,100	1.39%	23%
Buchanan, Town of	640,489,000	8,712,800	1.36%	3%
Winnebago County*	12,326,462,000	160,183,300	1.30%	N/A
Combined Locks, Vlg.	285,923,400	2,000,000	0.70%	1%
Fox Cities Total	\$18,512,768,200	317,090,300	1.71%	100%

*County numbers included for NNC comparison only, not included in totals

The City of Appleton represents 28.2% of the Fox Cities by total equalized value and captured 23% of net new construction equalized value. The City's net new construction percentage increase is 1.39% compared to the Fox Cities average of 1.71% which warrants monitoring to

ensure the City of Appleton captures its “fair share” of net new construction. Details of Net New Construction throughout the State can be found on the State of Wisconsin Department of Revenue Website:

<https://www.revenue.wi.gov/SLFReportsassessor/nnc-2017-preliminary.pdf>

TAX INCREMENTAL DISTRICT

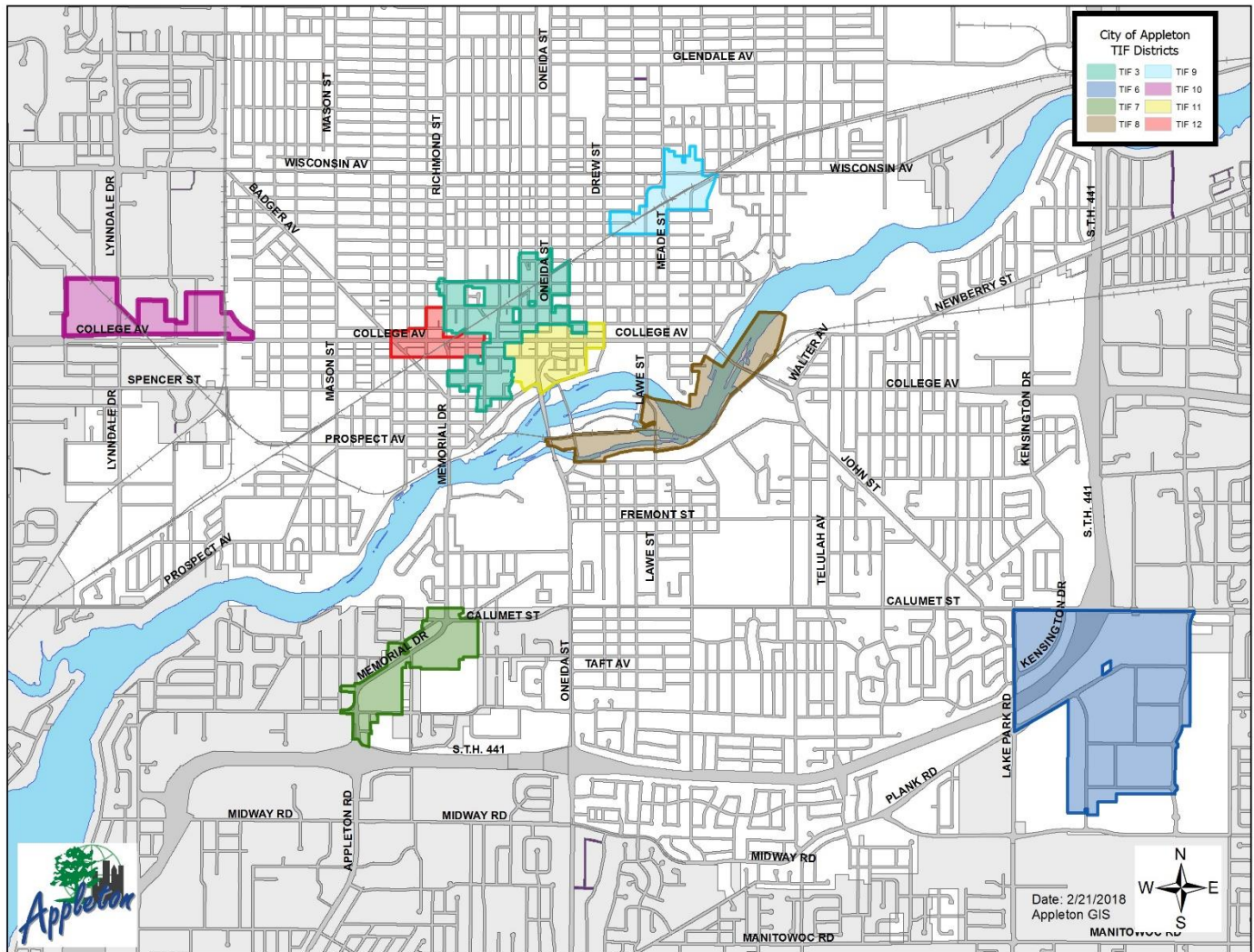
The following table shows the value increase/decrease of Tax Incremental Districts since creation, change during the past year, and an average annualized percentage change. All districts except for TID 10 saw an increase in value with a cumulative increase in TIF District valuations of 7.17%.

Tax Incremental District Valuations

TID #	Start	Base Value	2016 Value	2017 Value	Total Increment	2016-2017 Increment	% Change in 2016-2017 Value	Avg % Annual Change Since Start	% Change in Total Value Since Start
TID 3	1993	\$18,940,800	\$60,456,400	\$64,720,300	45,779,500	4,263,900	7.05%	11.51%	241.70%
TID 6	2000	\$12,141,600	\$104,849,300	\$109,151,000	97,009,400	4,301,700	4.10%	57.07%	798.98%
TID 7	2007	\$25,657,000	\$42,854,100	\$45,931,800	20,274,800	3,077,700	7.18%	11.29%	79.02%
TID 8	2009	\$6,135,100	\$19,937,600	\$29,334,200	23,199,100	9,396,600	47.13%	75.63%	378.14%
TID 9	2013	\$21,512,900	\$23,275,900	\$24,330,100	2,817,200	1,054,200	4.53%	13.10%	13.10%
TID 10	2013	\$24,543,900	\$26,091,900	\$23,902,100	(641,800)	(2,189,800)	-8.39%	-2.61%	-2.61%
Total		\$108,931,300	\$277,465,200	\$297,369,500	\$188,428,200	\$19,904,300	7.17%		172.99%

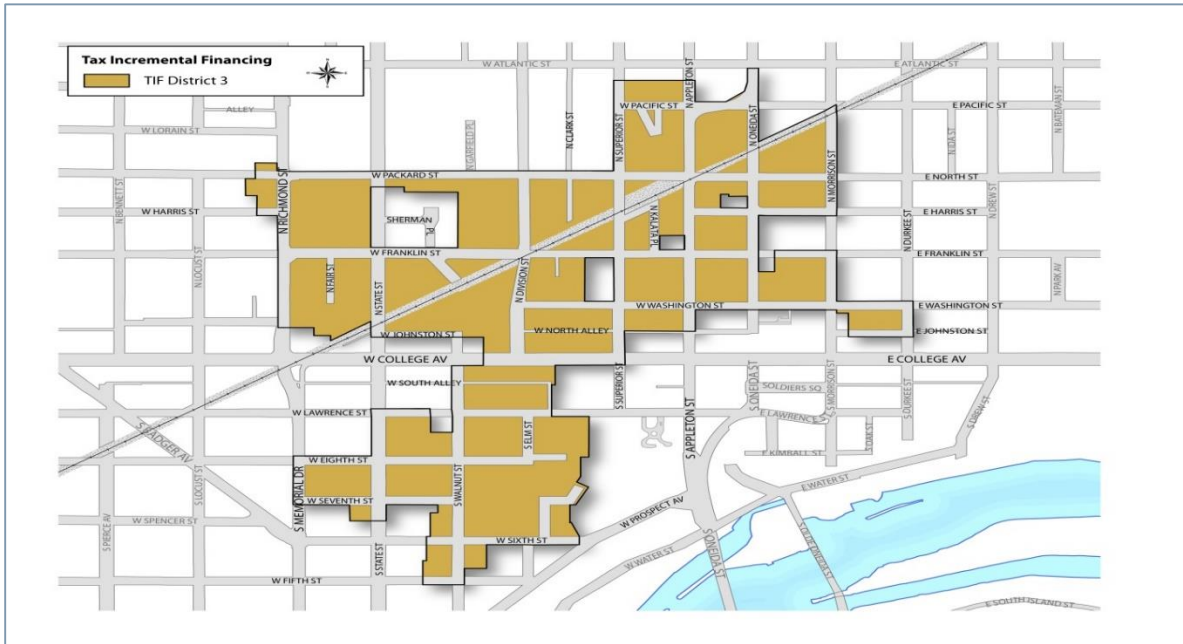
*Note: TID #6 & TID #8 Base Value adjusted to include amended area that was added to the district.

The following is a City Map indicating locations of the TIDs and then a map of, and performance notes for each, along with the scheduled closing date of each TID:

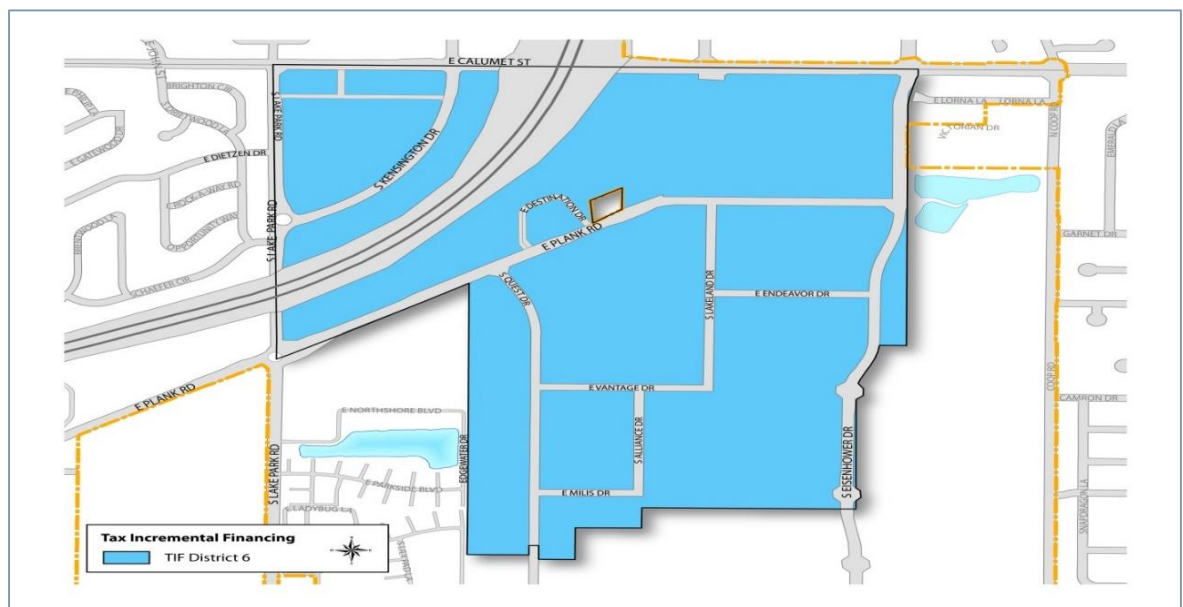


TAX INCREMENTAL DISTRICT PERFORMANCE

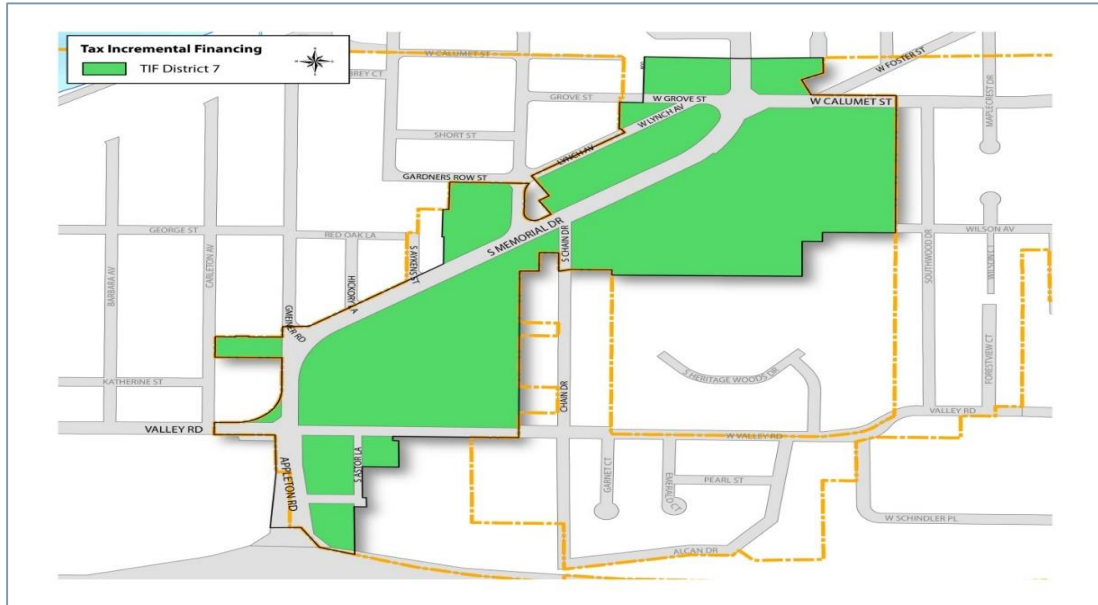
TID #3 Equalized valuations in TID #3 increased by \$4,263,900 or 7.05%. Much of this increase is attributable to newly permitted improvements to existing properties and personal property increases at 330 W. College Avenue. This TID was declared distressed in 2011, and is scheduled to close by 2031.



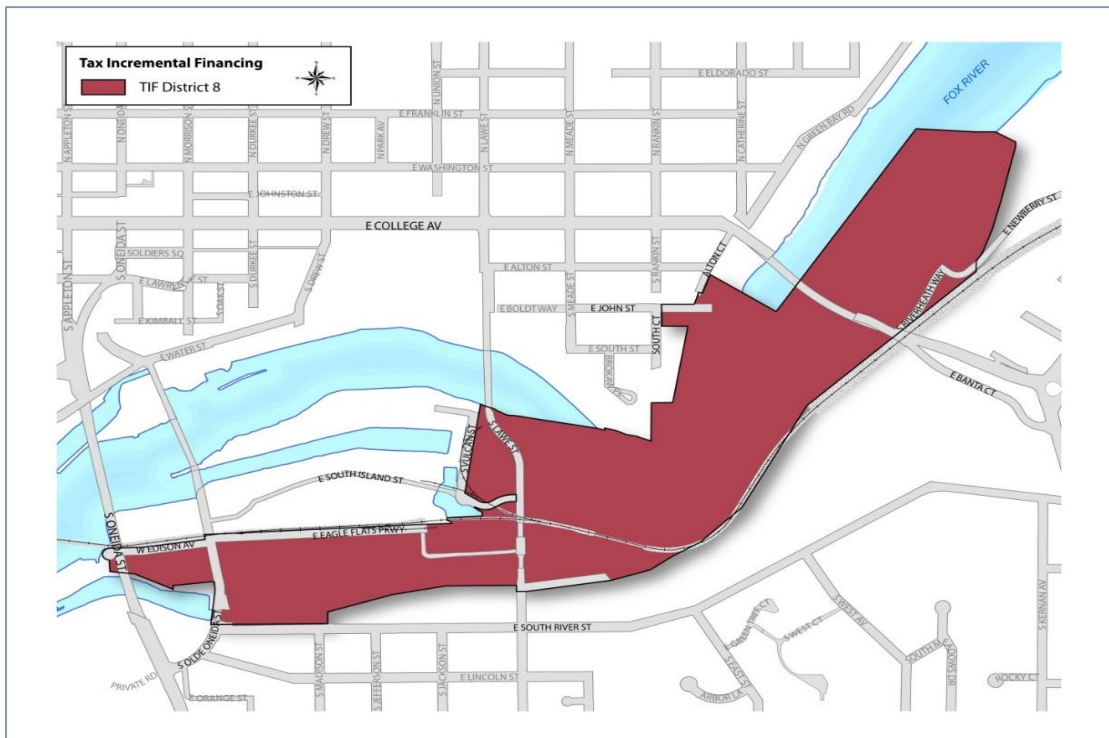
TID #6 Equalized valuations increased in TID #6 by \$4,301,700 or 4.10%. Much of this increase is due to the newly constructed Encapsys headquarters and personal property increases at 3845 E. Calumet Street. This TID is scheduled to close in 2023.



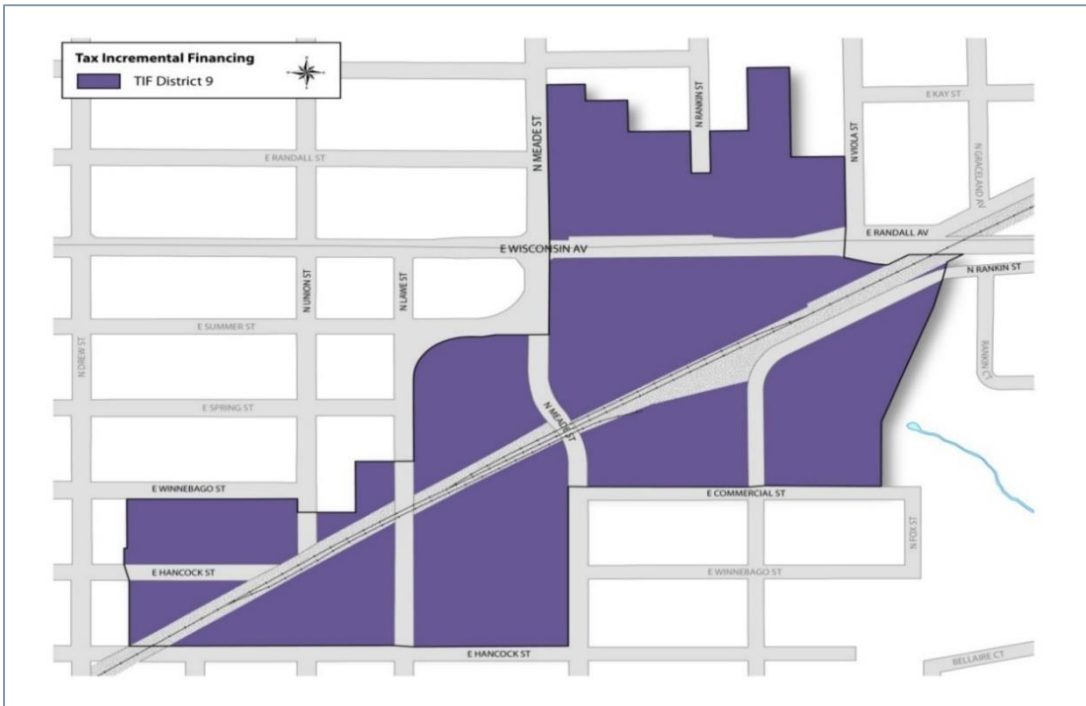
TID #7 TID #7 saw an increase in equalized valuation of \$3,077,700 which is 7.18%. Investments in personal property at the Pick-N-Save and improvements to the Arby's property (423 Calumet) led to much of this increase. This TID is scheduled to close in 2034.



TID #8 In 2017, the equalized value of TID #8 increased by \$9,396,600 or 47.13%. Most of this growth is attributed to both residential apartments and commercial development in the RiverHeath project. This TID is scheduled to close in 2036.



TID #9	TID #9 was created in 2013 and saw an increase in value of \$1,054,200 or 4.53%, due mostly to an increase in the value of personal property. This TID is scheduled to close in 2039.
--------	---

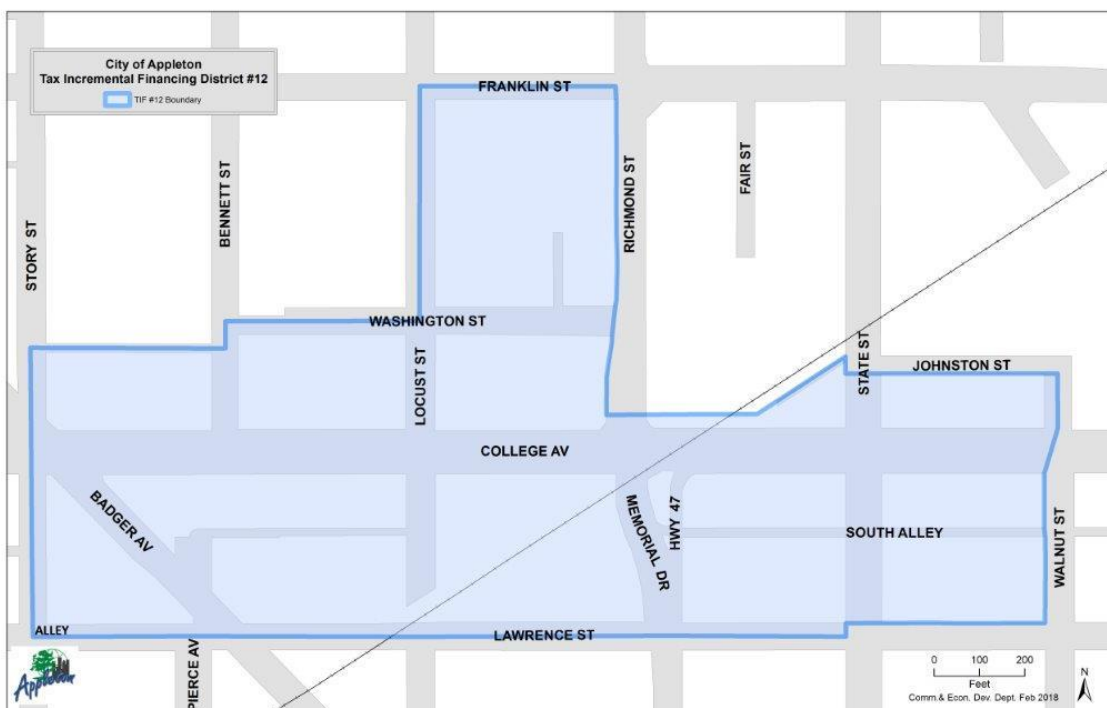


TID #10 TID 10, also created in 2013, saw a decrease in value of \$(2,189,800) or (8.39)% due to significant reductions in the value of Marketplace Mall (2700 W. College Avenue). This TID is scheduled to close in 2039.



TID #11 and TID #12

TIDs #11 and #12 were created in 2017. Two projects were announced in TID #11 in 2017, the U.S. Venture Headquarters and a renovation of the Zuelke Building. Being new, there is not incremental value to report yet, but maps of the districts are as follows:



BUSINESS DEVELOPMENT

The City once again experienced a net gain in new businesses. During 2017, 202 new businesses opened in the City, while 45 closed for a net gain of 157. The following pages highlight the new businesses that opened in Appleton and the businesses that closed or moved in 2017.

New Businesses That Opened in the City of Appleton:

ACCENT CUSTOM COMPONENTS INC	RIGHT FOOT PERFORMANCE PRODUCTS OF WISCONSIN INC	ARROW CUTTING DIES % PAT STAHL
BAMBOO CHINESE & JAPANESE REST : AF INC	ANDERSON FAM LEARNING CTR LLC	BIG HEARTS LITTLE HANDS HOME CHILD CARE % MELISSA F HAMPP
BYTESIZE SOLUTIONS LLC	CARE PARTNERS ASSISTED LIVING LLC	CARE PARTNERS ASSISTED LIVING LLC
CENTURY OAKS ON BALLARD LLC	DONZE CPA LLC	ENCAPSYS LLC
FIRST BANK FINANCIAL CENTRE	APEX PROPERTIES GROUP LLC (LATITUDE 44 OFFICE/CLUBHOUSE)	MRS SMITH'S FAMILY DAY CARE % LAURA SMITH
ORANGE BUSINESS SERVICES US INC	RIGHT AT HOME INC	SHI SHU FAMILY CHILD CARE LLC
STARBUCKS COFFEE COMPANY : STARBUCKS CORPORATION	STATE FARM MUTUAL AUTOMOBILE INSURANCE CO	VALLEY COATINGS & EQUIPMENT INC
BERKLEY ASSET PROTECTION : A W.R. BERKLEY COMPANY	WEBOUTS LLC	ASCENTIUM CAPITAL LLC
CIT BANK NA	CARE FUSION SOLUTIONS LLC	CBRE INC
FOX CITY MARKETING INC	COLLAR CAPITAL MANAGEMENT LLC	CRIMSON CREATIVE GROUP LLC
DEERE CREDIT INC	GREENLEAF COMPACTION INC	DATA SALES CO INC
EVOLUTION WEALTH MANAGEMENT INC	FEISTEL & ASSOCIATES LLC	FIRST AMERICAN COMMERCIAL BANCORP INC
FLEETMATICS USA LLC	FOX RIVER CAPITAL : ATLAS CAPITAL GROUP LLC	GEARY, TIMOTHY P ATTORNEY AT LAW LLC
GREAT LAKES COCA-COLA DISTRIBUTION LLC	MINUTE MEN HR OF WISCONSIN INC	INSIGHT INVESTMENTS LLC
KRUZEL, SUSAN C LPC LLC	EDH WEALTH ADVISORS INC : RIGHTSTONE INC	BANLEACO : BANKERS LEASING COMPANY
HYPNOSIS INSTITUTE OF WISCONSIN % RONALD L LINDBERG	HUSSEY, BRENNAN PT LLC	MERRIMAK CAPITAL COMPANY LLC
MERYDYAN TECHNOLOGIES LLC	MIDWEST MEDIUM LORI ANN % LORI MANNS	OPNAD FUND INC
PAC-VAN INC	PRIVATE WEALTH MANAGEMENT GROUP LLC	PROACTIVE CONSULTING LLC
S&D COFFEE INC	FARNAM STREET FINANCIAL INC	SHARP LEASING USA CORP
SOMERSET CAPITAL GROUP LTD	STYMIEST AND ASSOCIATES % JIM STYMIEST	SUMMIT FUNDING GROUP INC
TERRES FIORI LLC	THEDACARE INC	TWIN EAGLE RESOURCE MANAGEMENT LLC
UNIVERSAL INSURANCE ADVISORS INC	VERIZON CREDIT INC	VON BRIESEN & ROPER SC
W W GRAINGER INC	WINMARK CAPITAL CORPORATION	WINTRUST CAPITAL
ZAPTASTIC PROFESSIONAL COACHING LLC	HARMONY COUNSELING CENTER INC	HMONG CONNECTION SERVICES LLC

POLAR BEAR CARPENTRY LLC	RAE FAMILY DAYCARE % CARROL A RAE	WILDE WEB MARKETING LLC
METRO PCS % ABBAS AMIN	NEW MECHANICAL LLC	ACCOUNTING UNLIMITED LLC
ADVISORS OF AMERICA % YIA MICHAEL THAO	AZCO CONSTRUCTION INC	BREATHE REVOLUTION STUDIO : PARNEE FREDERICK LMT LLC
EMPIRE INKS LLC	LEWINS ELECTRIC LLC	MALONEY LANDSCAPING & PAVING : MALONEY LANDSCAPING INC
PHO XPRESS % SUSH LEE	PIC SOLUTIONS II LLC	SCHILLER'S TREE SERVICE INC
STAT INFORMATIC SOLUTIONS LLC	STL OFFICE SOLUTIONS INC	THAI BUBBLE TEA % LA MAI YANG
TIESLING'S DAYCARE % MARLENE R TIESLING	URBAN FIT WI LLC	EMERALD TAX & ACCOUNTING LLC
ES FIRE PROTECTION : ELECTRIC SCIENTIFIC COMPANY	SWEET N EASY EVENTS LLC TRAVI Z EVENTS LLC	TODAY'S ORGANICS % SHIRLEY HALVERSON
UNITY AUTO LLC	AMY & KIDS CO FAMILY CHILD CARE % AMY S NOGAR	STUDIO H BOUTIQUE RECORDING STUDIO/REHEARSAL % TONY ANDERS
SIMPLY INSPIRED HAIR DESIGNS % COURTNEY ANDRES	ANGEL KEEPERS ACADEMY LLC	CURIOSITY CABIN DAYCARE % JILL PENGLASE
SIMPLY INSPIRED HAIR DESIGNS % RACHEL FLOYD	JENTLE MASSAGE LLC	KOLASH WEALTH STRATEGIES LLC
LAMBS FAMILY DAY CARE % PEGGY MATHENA	MILLENNIUM CONSTRUCTION INC	OLSON'S FAMILY DAYCARE % KATIE OLSON
PRECISION LAND SURVEYING LLC	RENEW AUTO SALES INC	SIMPLY INSPIRED HAIR DESIGNS % LAURIE KURTH
INDEPENDENT/COLONIAL LIFE % CAMERON S ROBERTS	SCHMITT TITLE LLC	WALK WITH ME IN-HOME CHILD CARE % ASHLEY R DUCHENY
WILSON FINANCIAL LLC	WILEY, JOHN (EQUIPMENT) % JOHN WILEY	ANDREA'S FAMILY DAYCARE % ANDREA KEENAN
ANNA BELL'S DAY CARE % ANN M RAUEN	BOOST MOBILE : LA WIRELESS LLC	COMMERCIAL PLACE THE/PLACE PERFECT REALTY % MICHAEL KUNESH
GLOBAL CONCRETE LLC	J MARKLEY BARBERSHOP LLC	CHAIR INSIDE THE CORNER BARBER SHOP % MARIAH KNOX
MASSAGES BY KELLY LLC	MELISSA ALDERTON PHOTOGRAPHY % MELISSA ALDERTON	PASOUA HOME CARE LLC
SCHOOLHOUSE HOMEWORKS % STEVE G SCHOOL	3RD GOSPEL HEATING/COOLING LLC	BOOST MOBILE-MEXICANA TRAVEL SERVICES % MONICA P GALINDO
FLOOR COMPANY LLC THE	ADT LLC	CARDTRONICS USA INC
OPNAD FUND INC	DE LAGE LANDEN FINANCIAL SERVICES INC	DELL EQUIPMENT FUNDING LP
INTERFACE SECURITY SYSTEMS LLC	LILY'S SALON % LILY TRINKO	PRIMO WATER CORPORATION
TIMEPAYMENT CORP	RUG DOCTOR LLC	WABASHA LEASING LLC
AFFORDABLE BIKE REPAIR : LUTZ NICE CO LLC	ADP LLC	ADT LLC
ANGEL CORNER DAYCARE % STEPHANIE SCHMIDT	BEAUTY BAR LLC THE	BUNNIES AND BEARS CHILD CARE % BONNIE J HESSELMAN
KAY JEWELERS : STERLING JEWELERS INC	CLOVE STUDIO DANELSKI % AMY DANELSKI	CLOVE STUDIO LEINTZ % KATY LEINTZ
OPNAD FUND INC	AUTOMATED ENERGY SOLUTIONS INC	CRYOTHERAPY OF WISCONSIN APPLETON LLC
CSI LEASING INC	FUJIFILM NORTH AMERICA CORP	T-MOBILE STORE : T-MOBILE USA INC
TIMEPAYMENT CORP	GREAT LAKES COCA-COLA DISTRIBUTION LLC	HAIR ARTIST SALON PICCOLO % JUANEMA PICCOLO
HAIR ARTIST SALON ROBERTS % SARA ROBERTS	NU SKIN ENTERPRISES UNITED STATES INC	PAC-VAN INC

PAWNEE LEASING CORPORATION	PLANK ROAD APARTMENTS LLC	PURE RATES % KIMBERLY RATES
ROOTED LLC	RUG DOCTOR LLC	SAFETY-KLEEN SYSTEMS INC
SALON REVOLUTION DAKIN % MALLORY DAKIN	SALON REVOLUTION KOLASINSKI % EMILY KOLASINSKI	SALON REVOLUTION PRIEBE % MELISSA PRIEBE
STEARNS BANK NA	STUDIO 10 M JOHNSON % MICHELLE JOHNSON	STUDIO 10 K JOHNSON % KELLY JOHNSON
STUDIO 10 ANDERSON % KAYLA ANDERSON	STUDIO 10 OLSON % ANGELA OLSON	STUDIO 10 VAN LANEN % KAYLA VAN LANEN
U UNLIMITED % MICHELE HEPFLER	UNITED REALTY FOX VALLEY LLC	UPS STORE THE : ACC&H INC
VSAY DESIGNS % VISETH MOUA	MASSAGE BY MANDY LLC	KEY REAL ESTATE SERVICES LLC
US BANK NATIONAL ASSOCIATION	US BANK NATIONAL ASSOCIATION	601 BRIARCLIFF DRIVE OPERATING COMPANY LLC
SHELTER DESIGN GROUP LTD	STARBUCKS COFFEE COMPANY: STARBUCKS CORPORATION	CSC SERVICE WORKS INC
IBM CREDIT LLC	TENNANT SALES AND SERVICE CO	ECO ATM LLC
WIRELESS EXPRESS LLC	APPLETON MARRIOTT COURTYARD RIVERFRONT : RIVER HEATH HOSPITALITY	

Businesses That Closed or Moved Out of the City of Appleton:

CAFE DEBE : DC WICH LLC	RELIABLE REFUSE REMOVAL LLC	GJB HEALTH SERVICES LLC
4C ENERGY CONTROL SOLUTIONS LLC	CELTIC LEASING CORP	KUSTOM KITCHEN & BATH SHOPPE INC
MED-STAT USA LLC	SONNET'S GARDEN BLOOMS LLC	MILO MILO LLC
ETHOS LLC	ONE AMERICA RETIREMENT SRV LLC ONE AMERICA FINANC PTNRS INC	ADAGIO THERAPY LLC
LIFE DESIGNS THERAPEUTIC MASSAGE & BODYWORK LLC	TINA MARIE'S UNIQUE BOUTIQUE LLC	LEKSIII INVESTMENTS LLC & LEKS III LLC
NETWORK HEALTH PLAN : NETWORK HEALTH INC	TRAVELING PALETTE THE % LAURA A STEGER	TRI-MANOR LTD
TRANSCENDENT TECHNOLOGIES LLC	BLUE 2.0 LLC	WETTENGEL'S SEW-VAC SHOP : SEW VAC INC
ALLSTATE INSURANCE COMPANY	TERRAFIN CONSULTING LLC TERRAFIN GROUP INC	CLASSY CUTS HAIR CARE SALON % JUDITH A WEINS
EAGLE VAPOR % YVETTE M CORNELIUS	FAMILY CHRISTIAN STORES LLC	JACK & DICK'S SERVICE % JACK HINTZ
KELLIE'S CHILD CARE % KELLIE D JOHNSON	RADIOSHACK #01-6273 : GENERAL WIRELESS OPERATIONS INC	WINNEBAGO DENTAL LAB INC C&J REAL ESTATE LLC
CAROLE'S GIFTS & ANTIQUES % CAROLE HOFFMAN	GATHERED EARTH THE % ERICA & ANDY SMITH	GO FOR JOHN PHOTOGRAPHY % JOHN CHRISTIAN ADAMS
MERLIN 200,000 MILES SHOP : SBA-TLC LLC	MOSQUITO CREEK LLC	NAILS BY DUyen % DUyen O'HAVER
CAPITAL CREDIT UNION	CROSSFIT FOX VALLEY : KRATOS GYM LLC % JEFF & BEAU	CUTTHROAT CUE SPORTS LLC
GORDMANS STORE #14 : GORDMANS INC	HWA RANG DO APPLETON ACADEMY % DON CONE	NICOLET NATIONAL BANK
FULL RANGE FITNESS : PARADISO PERFORM FITNESS LLC	RANKIN COMPANY INC THE	RASMUSSEN COLLEGE INC
ZOUNDS HEARING OF APPLETON : BLUE FEATHER INC		

HOMEOWNER REHABILITATION PROJECTS

The Homeowner Rehabilitation Loan Program provides financial and related technical assistance for low- to moderate-income homeowners in the City of Appleton for the rehabilitation of their property. In order to qualify, the property must be owner occupied as well as meet income, equity and asset requirements.

Financial assistance is provided in the form of a 0% interest, deferred payment loan. The City places a lien on the property for the amount being spent on the rehabilitation, and the owner pays the loan back when the property is sold or vacated. This allows the City to assist property owners with maintaining and/or increasing their property values. When loans are repaid, the City reallocates those funds to future rehabilitation projects.

Priority is given to the following improvements: Lead-based paint hazards, roofing, foundation, electrical, plumbing, heating, windows, doors, insulation, interior walls/ceilings, private sidewalk, driveway, porches, siding, exterior trim, etc. The City does not provide funding for purchasing properties, additions to properties, cosmetic and/or luxury items.

The purpose of the program is two-fold: (1) to ensure decent, safe, and sanitary housing for low-income residents of the City of Appleton, and (2) to maintain the housing stock of these homes before they get to the point of being beyond repair. This stabilizes neighborhoods, maintains property values, and ultimately increases the tax base in the City.

The Program has five main objectives that directly benefit the City of Appleton:

1. Help low-income residents of the City of Appleton maintain decent, safe, and sanitary housing
2. Reduce the risk of lead poisoning from the older housing stock
3. Stabilize neighborhoods
4. Increase the tax base for the City
5. Create jobs in the community by hiring local contractors

The Program is considered to be very successful in achieving these objectives. Since 1979, the Homeowner Rehabilitation Loan Program has rehabbed over 1,100 homes in the City of Appleton and generated over \$6 million in outstanding loans. The City rehabilitated 23 housing units in 2017 and spent over \$450,000 on home improvement loans. The goal for 2018 is to rehabilitate an additional 24 housing units.

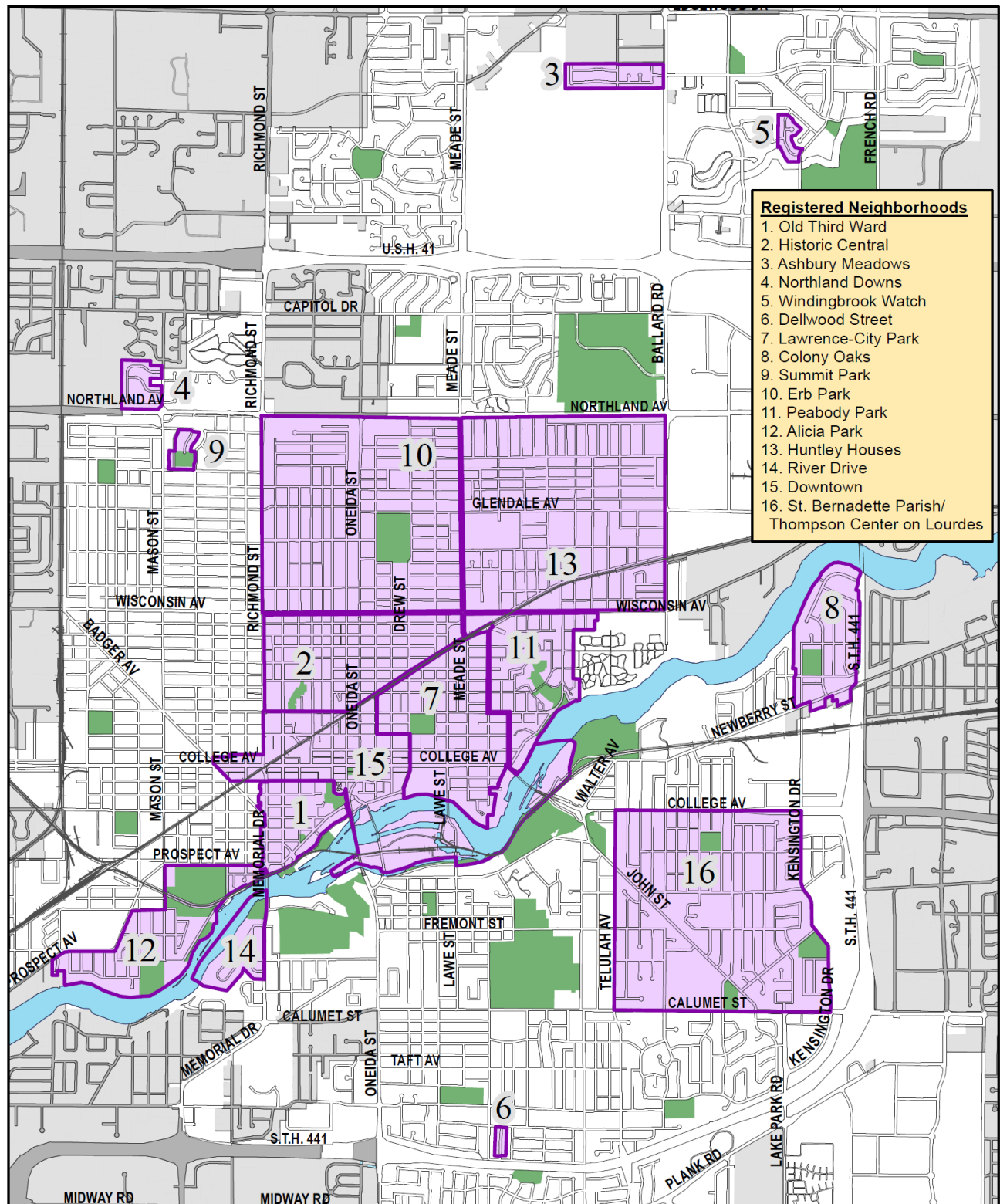
NEIGHBORHOOD PROGRAM

The Neighborhood Program was created in October 2012, with the goal of strengthening Appleton's neighborhoods by building strong bonds, engaging social capital, encouraging investment, and leveraging local resources. Beginning in the summer of 2013, staff developed a program brochure, conducted interviews with the Post-Crescent and local news and television agencies, and created the City's Neighborhood Program webpage which serves as the one-stop shop for all information on the program. These efforts increased awareness of the program and increased participation by Appleton residents.

The foundation of the program is the neighborhood registry. Residents are asked to register their neighborhoods by meeting with fellow residents to identify the neighborhood's primary and secondary contacts, create a neighborhood name, and define the neighborhood's boundaries. We have a total of 16 registered neighborhoods throughout the City. Registered neighborhoods are completely or partially located in 14 of the 15 Aldermanic Districts in the City. The central city neighborhoods north, south, and east of downtown are highly represented by five registered neighborhoods (Old Third Ward, Historic Central Neighborhood, Lawrence-City Park, Peabody Park, and Downtown).

One application for The Neighborhood Grant Program (TNGP) was received, approved and funded in 2017. This grant was for \$60,000 to the St. Bernadette Parish/Thompson Center on Lourdes Neighborhood to replace a natural gas generator and electrical inverter in the former Parish School building along with exit and hallway lighting. This building is used for the Thompson Community Center, which provides activities to seniors in our community.

The primary goal of the Neighborhood Program is to increase communication between Appleton's neighborhoods and City Hall. Two neighborhood program meetings were held in 2017, one in spring and another in fall. Both "roundtable" discussions provided opportunities for residents to share their experiences as neighborhood leaders among peers, strengthen their neighborhoods, and establish a clear line of communication with the City. Program staff assist Appleton's neighborhoods through communication in a variety of ways. First, we receive direct contact from neighborhood leaders regarding issues in their neighborhoods. Staff also contacts neighborhoods on various topics such as when a developer or the City is proposing a project which may directly or indirectly impact a registered neighborhood. A map of Registered Neighborhoods is on the following page:



Registered Neighborhoods - February 2017



PROSPECTS FOR GROWTH

1. Northside

- A. The City of Appleton purchased two properties totaling approximately 23 acres on Edgewood Drive long identified as future commercial/industrial use on the Future Land Use Map. While not yet served by City utilities, the City continues to manage these properties to provide for additional growth in the future.
- B. Privately owned land is still available for office developments north of I-41 along Enterprise Avenue and Evergreen Drive and privately owned industrial sites are available south of I-41.
- C. The City of Appleton has approximately 186 single-family lots available for sale in established subdivisions, the majority of which are located on the north side. There are several acres of planned single-family lots that are currently unplatted as well.
- D. A lift station was added in 2017 to accommodate approximately 950 acres of growth on the north side; it's located southeast of the intersection of Broadway Drive and Richmond Street, adjacent to future Spartan Drive.
- E. The extension of Spartan Drive is scheduled to begin in 2019 and be complete in 2025 from Meade Street to Highway 47.
- F. Evergreen Drive (east of Richmond Street) reconstruction with stormwater improvements is scheduled to start in 2018. This area is expected to see additional growth with the Meijer opening across the street in the Town of Grand Chute.

2. Southside

- A. The Wisconsin Department of Transportation (WisDOT) plans to construct a "Diverging Diamond" intersection at Hwy 441 and South Oneida Street starting in 2018. In addition, the City of Appleton completed utility updates to South Oneida Street between the Oneida Skyline Bridge to Hwy. 441. Roadwork will be completed in 2018. These improvements will further enhance this area's attractiveness for commercial development/redevelopment.
- B. The City currently has 100+ acres of fully improved land available for development in the Southpoint Commerce Park and an additional 100+ acres with planned improvements. 2017 saw the sale of just under 7 acres for two new businesses which are under construction.

3. Downtown/Riverfront

- A. EAGLE FLATS: The developer is pursuing the next phase of the project, which is targeting the addition of residential units, a visitor's center in partnership with the Fox River Navigational Authority, and public access at the property east of Lawe Street adjacent to Lock III. In addition, the site immediately west of Lawe Street continued being prepped for construction in 2017.

- B. RIVERHEATH DEVELOPMENT: Tanesay Development completed the construction of a Courtyard by Marriott in 2017, a 100-room hotel which opened in summer 2017. Just under 6 acres are still available in this development for future projects.
- C. FORMER FOREMOST DAIRY SITE: The City took title to the former Foremost Farms USA property located at 935 E. John Street in July of 2011. The site was remediated, the building demolished and the raceway abandoned to provide a site ready for development. The City rezoned this property on April 13, 2010 to R-3, Multi-Family Residential District. A request for proposals went out in 2012. The development agreement for this project was approved by the Appleton Redevelopment Authority and Common Council in 2014. The City received notice that the developer was not going to be able to proceed with the project in 2015, and another RFP process was completed in 2015. Several responses were received. Community and Economic Development negotiated a development agreement with the selected development team, Alexander Company and Iconica. Sale and groundbreaking of the site occurred in early 2017. Phase I will include 100 independent senior living units. Construction will be complete in summer 2018. Future phase(s) are under discussion.

BARRIERS TO GROWTH

1. Citywide

- A. Net New Construction for the City was lower than most of our neighboring communities which will limit the City's ability to raise the tax levy and provide services.

- B. Workforce and Skilled Labor

While the unemployment rate for Appleton and the Fox Cities overall has been dropping and is currently quite low, that number alone does not tell the whole employment story. Underemployment and a skills gap exist which prevents maximizing potential in our labor force. Some suggested strategies for addressing future labor needs include:

- a. Aligning Workforce and Economic Development Efforts
- b. Engaging the Unemployed, Underemployed and Discouraged
- c. Talent Attraction and Retention
- d. Capital Improvement Funds
- e. Incumbent Worker Training
- f. Flexible Schedules
- g. Seasonal Programs
- h. Job Sharing Programs
- i. Phased Retirement Programs
- j. Knowledge Transfer and Reverse Mentoring

Source: Matt Kures, UW-Extension Center for Community and Economic Development

- C. New tax regulations, passed on December 22, 2017, create uncertainty in both implementation and impact for many looking to make investments in real estate.

2. Northside

- A. Significant road improvements are needed to Apple Creek Road and Broadway Drive which require widening, including the acquisition of new right-of-way. French Road, north of Edgewood Drive, is a rural 2-lane road. Future development could necessitate the widening and urbanizing of French Road.
- B. Regulatory floodplains are known to exist on the northside.
- C. Enforcement of wetland regulations has delayed some projects.
- D. As growth continues to fill in subdivisions and commercial space, the area may need additional police, fire, school and recreational areas to meet growing demands.
- E. The City sold all available City-owned parcels in the Northeast Business/Industrial Park in 2016. The City no longer has any inventory of “ready to build” sites for sale on the north side with utilities and infrastructure in place. A few privately owned lots remain available.
- F. Limitations of the existing utility infrastructure and coordinating their expansion with timing of development will have to be closely coordinated.

3. Southside

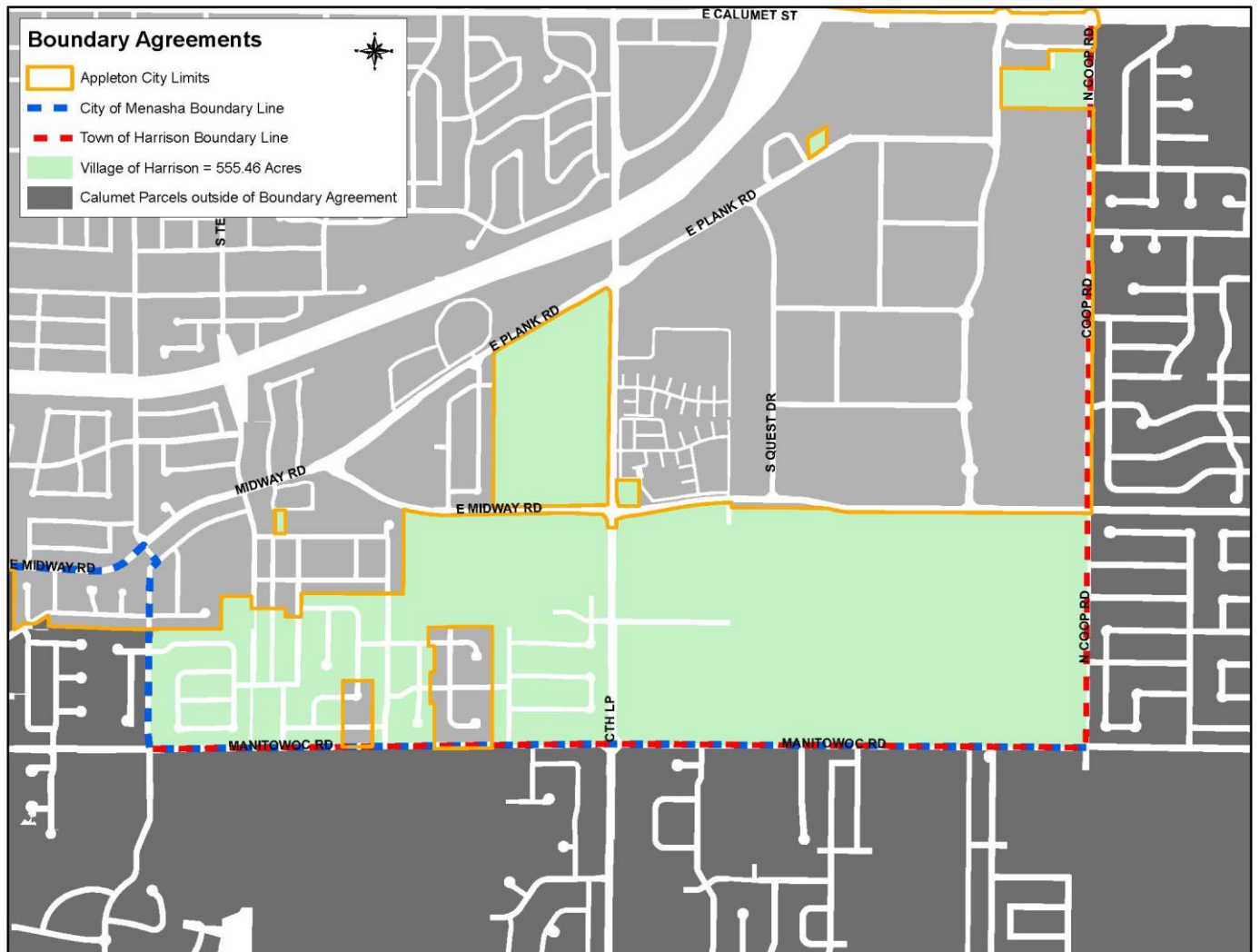
- A. Needed open green space and recreational amenities have been identified as a need on the south side. There is limited land available on the City’s south side with sufficient size to accommodate a community park. Staff outlined several potential sites for a community park, and Council did not recommend pursuit of any of the options.
- B. Enforcement of wetland regulations has delayed some projects.
- C. In 1999, the City of Appleton and Town of Harrison entered into an inter-municipal agreement in order to establish fixed boundaries, facilitate orderly development, and provide for cost effective governmental services. The agreed upon boundary line and the City of Appleton’s future growth area are shown on the following map. In 2013, the Village of Harrison incorporated as an independent municipality, after initially meeting the Incorporation Review Board’s standards. Later that year, the boundary line was significantly changed to transfer land from the Town of Harrison to the Village of Harrison, leaving only the City of Appleton and the City of Menasha growth areas remaining in the Town. While the area that the Village has either annexed, or will annex, was designated City growth area in a previous agreement with the Town, the court has held that the Village is not precluded from annexing that property.

The City of Appleton is currently involved in litigation with the Village of Fox Crossing and Town of Menasha with regard to land designated as the City’s future growth area located within the Village. Because of this pending litigation, additional information will be provided in a future report.

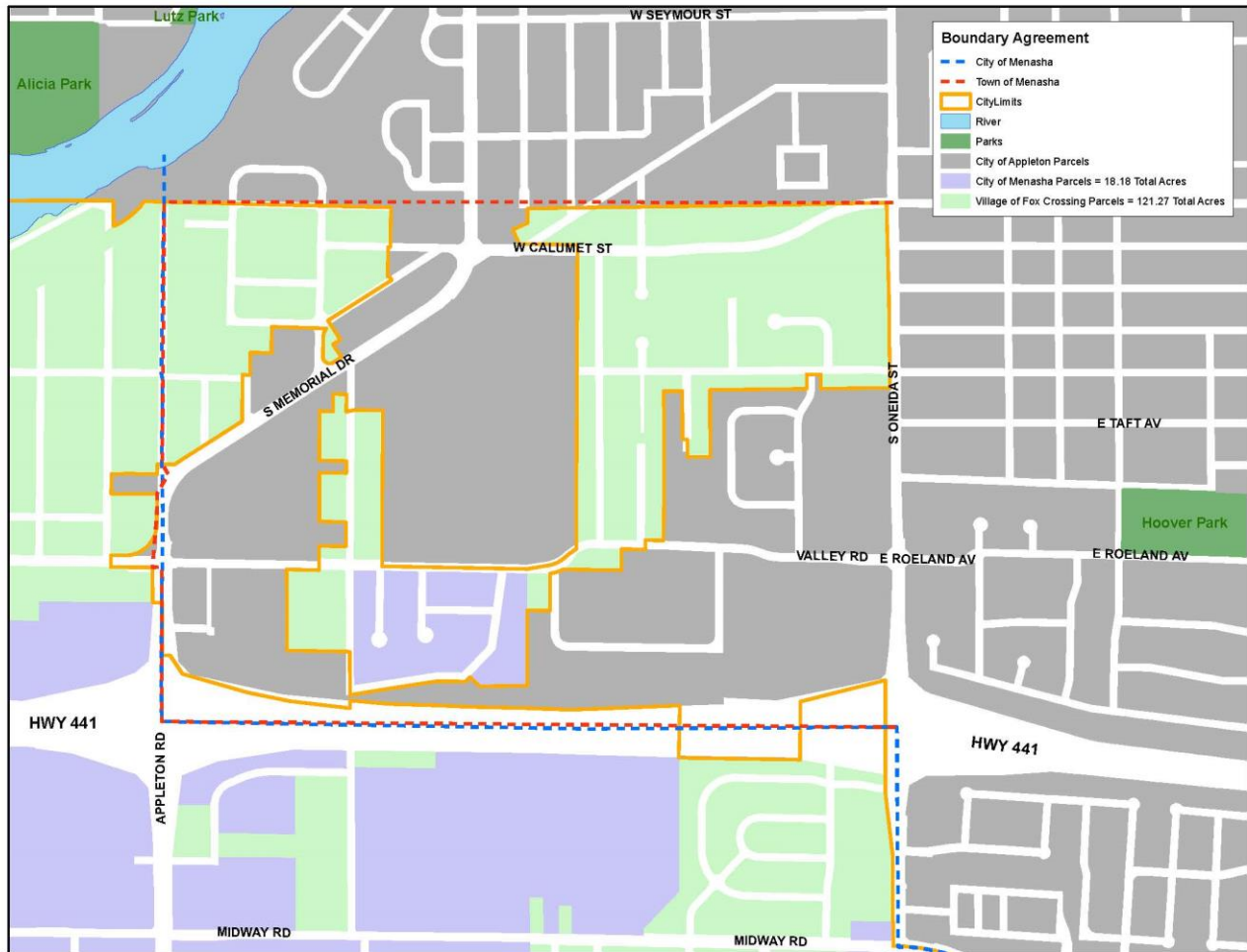
To date, the Village of Harrison has annexed land within the City’s original growth area totaling \$47,186,50000 in assessed value, and the Village of Fox Crossing has annexed land within the City’s growth area totaling \$61,108,900.

To follow are maps identifying annexed property within the City’s growth area:

LAND ANNEXED BY VILLAGE OF HARRISON



LAND ANNEXED BY VILLAGE OF FOX CROSSING



STRATEGY/MARKETING

1. Comprehensive Plan Update 2010-2030

In 2016, the City of Appleton began conducting a 5-year update to its 2010-2030 Comprehensive Plan, which includes updates to the Parks and Recreation Master Plan (Chapter 18) and a full re-write of the City's Downtown Plan (Chapter 14). Monthly Steering Committee meetings, workshops, walking and bicycle tours, presentations, and open houses were held over 11 months offering numerous opportunities for public input, in addition to an interactive website at <http://www.envisionappleton.org/> allowing for on-line comments.

A Comprehensive Plan is intended to guide the growth and development of a community. It is a long range plan, addressing current issues while also looking beyond to future issues and opportunities with the City. It includes analysis, recommendations and implementation strategies which will impact a community's population, economy, housing, transportation, community facilities, recreation-open space, and land use. A Comprehensive Plan establishes a vision for future land use, physical development, and quality of life in the City, as well as provides a comprehensive set of goals, policies and initiatives to achieve that vision.

A public hearing was held at the February 6, 2017 City Plan Commission meeting for the proposed City of Appleton Comprehensive Plan 2010-2030 Text and Future Land Use Map Amendments. The Comprehensive Plan was adopted by the Common Council on March 15, 2017.

2. 2015 Economic Development Strategic Plan

The Appleton Common Council approved the Appleton Economic Development Strategic Plan (EDSP) on June 17, 2015. The EDSP identifies where Appleton is today and where it wants to be tomorrow in terms of economic development. The EDSP is a "report card" of where we are now, identifying our strengths and weaknesses and sharing demographic data and community assets such as education, employment, local trends, availability of land, etc. The next component of the EDSP is where we, as a community and organization, want to go in the future. In technical terms, we establish goals. The EDSP outlines 4 Economic Goals.

1. Business Attraction
2. Business Retention and Expansion
3. General Economic Development
4. Workforce

Once the goals were established, the identification of key actions and measures support achievement of the Economic Goals. The EDSP outlines 16 key actions and measures.

1. Continue fast approvals & create more aggressive sales policies to drive business park purchase & construction activities, which will drive growth of tax base & jobs.
2. Create an email marketing campaign with a customer friendly web site.
3. Target highly-desirable site selectors, real estate brokers, & c-suite executives, growing the Appleton brand via website & online advertising.
4. Develop marketing campaign targeting key clusters: Office; Healthcare; Manufacturing; Food & Beverage; Retail; & Logistics.

5. Continue the visitors' attraction campaign targeting a 100-mile radius around the City with supplemental funding.
6. Conduct annual survey of businesses regarding City's customer service.
7. Create a single point of entry for projects through the Community and Economic Development Department.
8. Gather testimonials from businesses as evidence of consistent government responsiveness.
9. Continue 'fast-track permitting.' Review commercial permitting processes & streamline where appropriate to assure that permits are issued in a predictable & professional manner, & customers receive clear communication.
10. Restructure permit, inspection & storm water processes to be convenient for the consumer. Permit, water & storm water fees need to be competitive relative to nearby communities & other communities that the City competes for expansion & new projects.
11. Continue to conduct 40 annual site visits to key industries using business retention software to tabulate & analyze results.
12. Conduct Cost-Benefit analysis of completed and proposed projects.
13. Increase local food production and evidence of sales, distribution, processing and consumption.
14. Encourage & promote opportunities for executive, parent & student participation in coordinated programs with manufacturers, technology, & other key companies.
15. Assist with workforce efforts to sustain high student graduation rates, job placement.
16. Identify & implement best practices examples from neighboring communities.

Staff continually works to further these goals, key actions and measures.

3. The Fox Cities Economic Development Professionals

PURPOSE STATEMENT

Building professional relationships and sharing best practices to advance our region's economy.

FOX CITIES ECONOMIC DEVELOPMENT PROFESSIONALS

STRATEGIC INITIATIVES

1. To provide for professional development and networking.
2. To encourage, facilitate communication, and participation among members and among economic development peers.
3. To learn about and work to establish economic development best practices.
4. To establish an educational and best practices manual for members.
5. To advance our region's economy.
6. To improve and establish collaborative efforts among economic development organizations in the region.

The City of Appleton continues to remain committed to and actively engaged in FCEDP.

4. Fox Cities Regional Partnership

The City of Appleton has supported the efforts of the Fox Cities Regional Partnership, both financially and operationally since 2012. Many of these investments are to help support attracting and retaining an intelligent, innovative workforce to the City. The City contributed toward the following programs in 2017:

- PULSE Young Professionals Week
- Bazaar After Dark
- The Artery
- Talent Upload

5. Marketing

Staff partnered with Locate in Wisconsin, LoopNet and CoStar to reach the commercial real estate and development community. All of the above-mentioned services are online resources for commercial real estate brokers, site selectors, and companies to research available sites within our community.

Business Retention and Expansion Program - Assisting in the retention and expansion of local industries is a top priority in the City of Appleton because nine out of ten jobs created in the City are created by existing businesses expanding their operations or by local entrepreneurs starting businesses. In 2017, staff met with over 45 businesses to resolve issues, help with retention, and assist with expansion plans.

The City of Appleton sponsored a booth at the Manufacturing First conference in 2017 which was shared with the Fox Cities Regional Partnership. The conference was attended by over 1,100 manufacturers and 600 students. We also sponsored a booth at the InDevelopment Conference, which is a gathering of the region's most influential people in commercial and economic development.

