



City of Appleton

100 North Appleton Street
Appleton, WI 54911-4799
www.appleton.org

Meeting Agenda - Final City Plan Commission

Wednesday, April 24, 2024

3:30 PM

Council Chambers, 6th Floor

1. Call meeting to order
2. Pledge of Allegiance
3. Roll call of membership
4. Approval of minutes from previous meeting

[24-0440](#) City Plan Minutes from 4-10-24

Attachments: [City Plan Minutes 4-10-24.pdf](#)

5. Public Hearing/Appearances

[24-0441](#) Special Use Permit #1-24 to establish a 521 square foot tavern inside the existing storage garage space located at 1201 N. Badger Avenue (Tax Id #31-5-2130-00), as shown on the attached maps and per attached plan of operation, to run with the land subject to the conditions in the attached staff report and approve attached Resolution (Associated with Action Item #24-0442)

Attachments: [ClassIIPublicHearingNoticeNewspaper_1201NBadgerAv_SUP#1-24.pdf](#)
[PublicHearingNoticeNeighborhood_1201NBadgerAv_SUP#1-24.pdf](#)

6. Action Items

[24-0442](#) Request to approve Special Use Permit #1-24 to establish a 521 square foot tavern inside the existing storage garage space located at 1201 N. Badger Avenue (Tax Id #31-5-2130-00), as shown on the attached maps and per attached plan of operation, to run with the land subject to the conditions in the attached staff report and approve attached Resolution (2/3 vote of Common Council required for approval)

Attachments: [StaffReport_1201NBadgerAv_SUP_For4-24-24.pdf](#)

[24-0443](#) Request to approve the acceptance of the proposed dedication of the outlot identified for public trail purposes within Southpoint Commerce Park, per Wis. State Statute §62.23(5), as shown on the attached maps and the 2017 Trails Master Plan

Attachments: [Memo PlanCommission Southpoint TrailAcquisitionandDedication For4-24-24](#)

[24-0444](#) Elect Vice Chair

[24-0445](#) Set Meeting Date and Time

[24-0446](#) Designate Contact Person

7. Information Items

8. Adjournment

Notice is hereby given that a quorum of the Common Council may be present during this meeting, although no Council action will be taken.

Any questions about items on this meeting are to be directed to Kara Homan, Director, Community and Economic Development Department at 920-832-6468.

Reasonable Accommodations for Persons with Disabilities will be made upon Request and if Feasible.



City of Appleton

100 North Appleton Street
Appleton, WI 54911-4799
www.appleton.org

Meeting Minutes - Final City Plan Commission

Wednesday, April 10, 2024

3:30 PM

Council Chambers, 6th Floor

1. Call meeting to order

Meeting called to order by Chair Mayor Woodford at 3:30 p.m.

2. Pledge of Allegiance

3. Roll call of membership

Commissioner Dane appeared virtually and participated via Zoom.

Present: 6 - Robins, Mayor Woodford, Dane, Uitenbroek, Neuberger and Fenton

Excused: 1 - Palm

4. Approval of minutes from previous meeting

[24-0373](#)

City Plan Minutes from 3-27-24

Attachments: [City Plan Minutes 3-27-24.pdf](#)

Fenton moved, seconded by Robins, that the Minutes be approved. Roll Call.

Motion carried by the following vote:

Aye: 6 - Robins, Mayor Woodford, Dane, Uitenbroek, Neuberger and Fenton

Excused: 1 - Palm

5. Public Hearing/Appearances

6. Action Items

[24-0374](#)

Request to approve Minor Amendment to Special Use Permit #12-00 for a sidewalk cafe with alcohol sales and service in front of 523-525 W. College Avenue (Tax Id #31-3-1003-00) within the amenity strip along W. College Avenue, as shown on the attached maps and per attached plan of operation, to run with the land subject to the conditions in the attached staff report and approve attached Resolution (No Council action required)

Attachments: [StaffReport_523-525WCollegeAv_SUP#12-00MinorAmendment_For4-10-24.pdf](#)

Neuberger moved, seconded by Fenton, that the Minor Amendment to Special Use Permit #12-00 be approved. Roll Call. Motion carried by the following vote:

Aye: 6 - Robins, Mayor Woodford, Dane, Uitenbroek, Neuberger and Fenton

Excused: 1 - Palm

[24-0375](#)

Request to approve the Lumbini Estates Preliminary Plat as shown on the attached maps and subject to the conditions in the attached staff report

Attachments: [StaffReport_LumbiniEstates_PreliminaryPlat_For4-10-24.pdf](#)

Fenton moved, seconded by Robins, that the Lumbini Estates Preliminary Plat be recommended for approval. Roll Call. Motion carried by the following vote:

Aye: 6 - Robins, Mayor Woodford, Dane, Uitenbroek, Neuberger and Fenton

Excused: 1 - Palm

7. Information Items

[24-0326](#)

Update on Mayor's Taskforce on Housing Development Policy - Final Housing Development Policy Guide

Attachments: [HousingDevelopmentPolicyGuide_MemotoCEDC+CPC_4-10-24.pdf](#)
[HousingDevelopmentPolicyGuide_2024_0315-Final_Guide.pdf](#)

This item was presented and discussed.

8. Adjournment

Fenton moved, seconded by Robins, that the meeting be adjourned at 4:00 p.m. Roll Call. Motion carried by the following vote:

Aye: 6 - Robins, Mayor Woodford, Dane, Uitenbroek, Neuberger and Fenton

Excused: 1 - Palm

CITY OF APPLETON
NOTICE OF PUBLIC HEARING
PROPOSED SPECIAL USE PERMIT

NOTICE IS HEREBY GIVEN of a Public Hearing to be held before the City Plan Commission on Wednesday, April 24, 2024, at 3:30 P.M., in Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, or as soon thereafter as can be heard, for the purpose of considering a Special Use Permit.

Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by Satbir Singh, SK Gas Mart, LLC, owner, to obtain a Special Use Permit to establish a 521 square foot tavern inside the existing storage garage space at 1201 North Badger Avenue (Tax Id #31-5-2130-00). In the C-2 General Commercial District, a Special Use Permit is required for a tavern.

All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. Any questions regarding this matter should be directed to Don Harp, Principal Planner, in the Community and Economic Development Department at (920) 832-6466 or by email at don.harp@appleton.org.

CITY PLAN COMMISSION
APPLETON, WISCONSIN

COMMUNITY & ECONOMIC DEVELOPMENT
CITY HALL - 100 NORTH APPLETON STREET
APPLETON, WISCONSIN 54911-4799
(920) 832-6468

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

RUN: April 9, 2024
April 16, 2024

NOTICE OF PUBLIC HEARING
OF THE
APPLETON CITY PLAN COMMISSION

Dear property owner(s):

The City of Appleton Plan Commission will conduct a Public Hearing on Wednesday, April 24, 2024, at 3:30 P.M., or as soon thereafter as can be heard, in Common Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, for the purpose of considering the following proposed Special Use Permit:

- Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by Satbir Singh, SK Gas Mart, LLC, owner, to obtain a Special Use Permit to establish a 521 square foot tavern inside the existing storage garage space at 1201 North Badger Avenue (Tax Id #31-5-2130-00). In the C-2 General Commercial District, a Special Use Permit is required for a tavern.

- ALDERMANIC DISTRICT: 10 – Alderperson Vaya Jones

You are being notified as a policy of the City of Appleton Community and Economic Development Department. All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. The Plan Commission makes a recommendation to the Common Council who makes the final decision on the matter.

Any questions regarding this matter should be directed to Don Harp, Principal Planner, in the Community and Economic Development Department at 920-832-6466 or by email at don.harp@appleton.org.

CITY PLAN COMMISSION

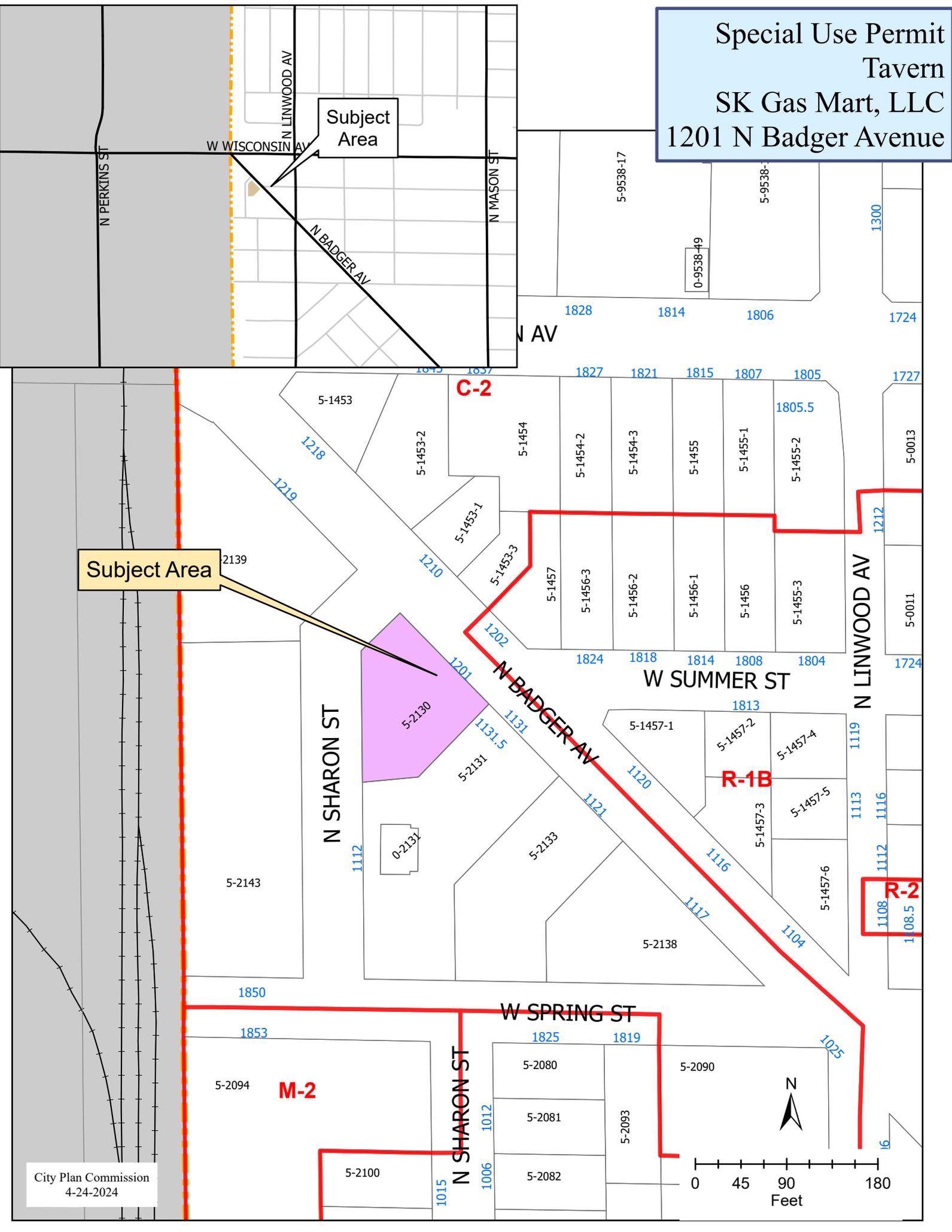
COMMUNITY & ECONOMIC DEVELOPMENT
CITY HALL - 100 NORTH APPLETON STREET
APPLETON, WISCONSIN 54911-4799
920-832-6468

Reasonable accommodations for persons with disabilities will be made upon request and if feasible.

Special Use Permit
Tavern
SK Gas Mart, LLC
1201 N Badger Avenue

Subject Area

Subject Area



PROPOSED PROJECT FOR:

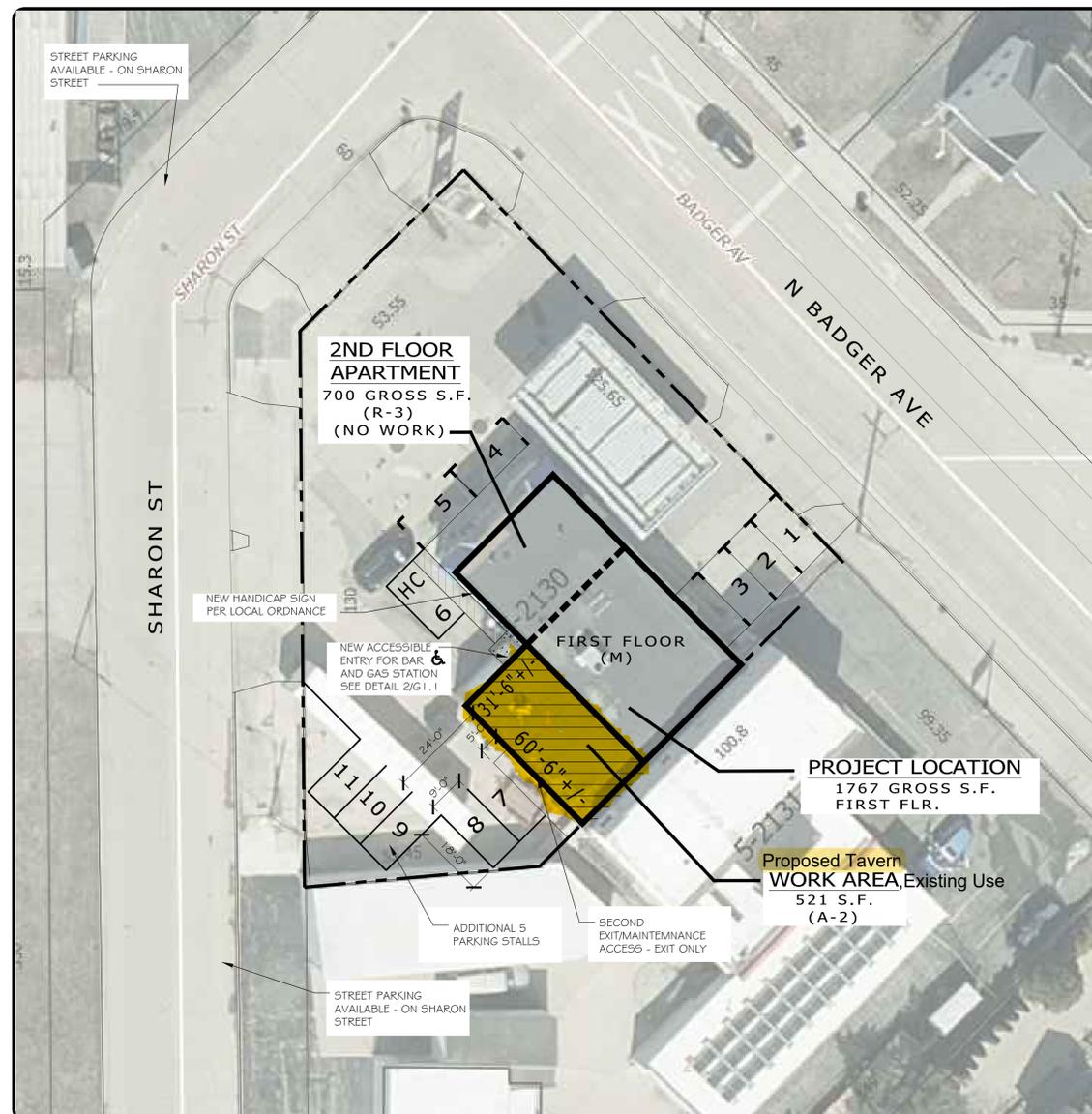
1201 N. BADGER AVENUE

FIRST FLOOR – BAR-REMODEL
APPLETON, WI 54914

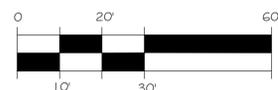
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RMA
ARCHITECTS

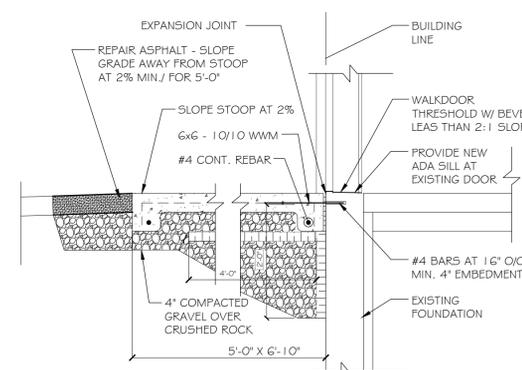
1050 SOUTH GRIDER STREET
APPLETON, WISCONSIN 54914
PHONE: 920-364-9850



SITE PLAN
SCALE: 1" = 20'-0"



SHEET INDEX		STAMPS	
GENERAL/ARCHITECTURAL		STAMPS	
RMA ARCHITECTS, INC. 1050 SOUTH GRIDER STREET APPLETON, WISCONSIN 54914 P: (920) 364-9850 F: (920) 996-6865		<p>Timothy F. Maertz Architect - A7776-005 Expires 07-31-24</p> <p>Signed 3-21-2024</p>	
G1.1	TITLE, SHEET INDEX, SITE PLAN		
G1.2	GENERAL INFORMATION SHEET		
A2.1	FLOOR PLAN, WALL TYPES AND DETAILS		
A2.2	ROOM AND DOOR SCHEDULES, ENLARGED TOILET PLAN AND ELEVATIONS		
A2.3	ENLARGED BAR PLAN AND CASEWORK ELEVATIONS		
A3.1	ELEVATION PHOTOS - FOR REFERENCE		
BUILDING / CODE INFO		SCOPE OF WORK	
<ul style="list-style-type: none"> CODE / LICENSING: IBC - 2015 INTERNATIONAL BUILDING CODE IEBC - 2015 INTERNATIONAL EXISTING BUILDING CODE CITY OF APPLETON ZONING CODE - ZONED C-2 AREA: FIRST FLOOR: 1,767 S.F. ± SECOND FLOOR: 700 S.F. ± TOTAL AREA ALL FLOORS: 2,467 S.F. ± WORK AREA: 521 S.F. ± FIRST FLOOR ONLY OCCUPANCY: M/A2 - APARTMENT(S) (SECOND FLOOR) M/A2, MERCANTILE/ ASSEMBLY (FIRST FLOOR - MOBIL GAS STATION/BAR) CONSTRUCTION CLASS: EXISTING BUILDING: TYPE IIB FIRE PROTECTION: VIA TWO HOUR FIRE BARRIERS - NOT SPRINKLED. BUILDING OWNER: SK GAS MART LLC W6028 BLAZING STAR DRIVE APPLETON, WI 54915 CONTACT: SATBIR SINGH - EMAIL: skgasmart2022@yahoo.com TENANTS: APARTMENT R3 (SECOND FLOOR) + COMMERCIAL SPACE ON FIRST FLOOR - M/A2 OCCUPANCY - CHANGE IN OCCUPANCY FROM S-1 TO A-2. 		<p>CONVERT EXISTING STORAGE AREA (S-1) TO NEW BAR (A-2) VIA 2 HOUR OCCUPANCY SEPARATION FROM MOBIL STATION (M) WITH OWNER OCCUPIED (R-3) ABOVE. NO WORK IN THOSE TWO SPACES.</p> <p>CREATE NEW ADA FAMILY TOILET ROOM TO BE SHARED WITH MOBIL STATION, BOTH FAMILY TOILETS TO BE USED AND COUNTED TOWARDS THE REQUIRED TOILET FIXTURE COUNT.</p> <p>CREATE NEW ADA ACCESSIBLE ENTRY FOR BAR AND EXISTING MOBIL STATION, PROVIDE NEW STOOP SLAB AND REPAIR ASPHALT AS NEEDED TO MAINTAIN A LESS THAN 1 TO 20 SLOPE. PITCH AWAY FROM DOOR.</p> <p>ALL MEP WORK BY OTHERS.</p> <p>NO ZONING OR SITE WORK BEYOND THE NEW STOOP SLAB AND ASPHALT RESTORATION.</p> <p>OWNER TO CONTACT THE CITY OF APPLETON HEALTH DEPARTMENT TO CONFIRM ALL REQUIREMENTS FOR THE BAR SPACE, NOT PART OF THIS WORK.</p> <p>NOTE: SCALE WILL BE HALF IF PRINTED 11X17</p>	



STOOP DETAIL
SCALE: NTS



LOCATION MAP
CONSTRUCTION DOCUMENTS

PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

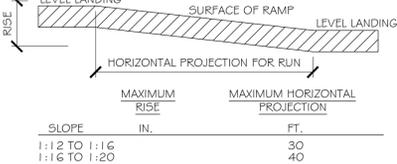
DRAWN BY
TFM
CHECKED BY
TFM

DATE
02/23/24

PROJECT NO.
245005

G1.1

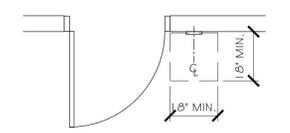
ABBREVIATION KEY												
A.B.	ANCHOR BOLT	D.	DEMO.	DEMOLITION	G.	GAS	N.	N/A	NOT APPLICABLE	S.	SQ.	SQUARE
AC.FLR.	ACCESS FLOOR	DEPR.	DEPRESSION	GA.	GAUGE	NEC	NATIONAL ELECTRICAL CODE	SS	STORM SEWER			
ACOUS.	ACOUSTICAL	DEPT.	DEPARTMENT	GALV.	GALVANIZED	NIC	NOT IN CONTRACT	ST.	STAINLESS			
ADA	AMERICANS WITH DISABILITIES ACT	DTLS.	DETAILS	GB	GRAB BAR	NO.	NUMBER	ST.	STREET			
ADD.	ADDENDUM	DF	DRINKING FOUNTAIN	GBC	GENERAL BUILDING	NOM.	NOMINAL	STD.	STANDARD			
ADDL.	ADDITIONAL	DIA.	DIAMETER	CONTRACTOR	CONTRACTOR	NRC	NOISE REDUCTION COEFFICIENT	STL.	STEEL			
ADJ.	ADJUSTABLE	DIFF.	DIFFUSER	GENER.	GENERATOR	NTS	NOT TO SCALE	STOR.	STORAGE			
ADJ.	ADJACENT	DIM.	DIMENSION	GL.	GLASS			STRD.	SOFTWOOD			
ADMIN.	ADMINISTRATION	DISP.	DISPENSER	GR.	GRADE			SUPV.	SUPERVISOR			
A.F.F.	ABOVE FINISHED FLOOR	DIST.	DISTRIBUTION	GYP.	GYPSPUM	O.O.C.	ON CENTER	SUSP.	SUSPENDED			
AHU	AIR HANDLING UNIT	DIV.	DIVISION			O.D.	OUTSIDE DIAMETER	SW.	SWITCH			
ALT.	ALTERNATE	DN	DOWN									
ALUM.	ALUMINUM	DP	DEEP	H.H.	HIGH	OH.	OVERHEAD					
AMEND.	AMENDMENT	DR.	DOOR	HB	HOSE BIBB	OPER.	OPERATOR	T	TOILET			
ANNUN.	ANNUNCIATOR	DR.	DRIVE	HD	HAND DRYER	OPNG.	OPENING	T.	TREAD			
AP	ACCESS PANEL	DS	DOWNSPOUT	HDCP.	HANDICAP	OPP.	OPPOSITE	TAN.	TANGENT			
APPROX.	APPROXIMATE	DW	DISHWASHER	HDR.	HEADER	ORD	OVERFLOW ROOF DRAIN	TC	TIME CLOCK			
ARCH.	ARCHITECTURAL	DWG.	DRAWING	HDWD.	HARDWOOD			TEL.	TELEPHONE			
ATC	ACOUSTICAL TILE CEILING	DWLS.	DOWELS	HDWR.	HARDWARE			TEMP.	TEMPERED			
AUTO.	AUTOMATIC			HM	HOLLOW METAL	P.PART.	PARTITION	TEMP.	TEMPERATURE			
				HORIZ.	HORIZONTAL	PB	PASS BOX	TERR.	TERRAZZO			
		E	ELECTRIC	HTR.	HEATER	PC	PRECAST	T&G	TONGUE AND GROOVE			
B.BUL.BO.	BULLETIN BOARD	EA	EXHAUST-AIR	HVAC	HEATING VENTILATING	PD	PENCIL DRAWER	THRES.	THRESHOLD			
BD.	BOARD	EA	EACH	AIR-CONDITIONING	AIR-CONDITIONING	PH	PANIC HARDWARE	TLT.	TOILET			
BG	BUMPER GUARD	EC	ELECTRICAL CABINET	HW	HOT WATER	PL	PLATE	TRANS.	TRANSFORMER			
BIT	BITUMINOUS	EF	EXHAUST FAN			PLAM.	PLASTIC LAMINATE	TS	TUBE STEEL			
BKT.	BRACKET	EL.	ELEVATOR			PLAS.	PLASTIC	TV	TELEVISION			
BLDG.	BUILDING	ELEC.	ELECTRICAL	I.D.	INSIDE DIAMETER	PLAST.	PLASTER	TYP.	TYPICAL			
BLKG.	BLOCKING	ELEV.	ELEVATION	IN.	INCH	PLMB	PLUMBING					
BM.	BEAM	EMERG.	EMERGENCY	INSUL.	INSULATION	PLWD.	PLYWOOD					
BOT.	BOTTOM	ENCL.	ENCLOSURE	INT.	INTERIOR	PNL.	PANEL	UC	UNDERCUT			
BRG.	BEARING	ENTR.	ENTRANCE	ISO.	ISOLATION	PR.	PAIR	UCR	UNDERCOUNTER			
BSMT.	BASEMENT	EO	ELECTRICAL OUTLET			PRELIM.	PRELIMINARY	REFRIG.	REFRIGERATOR			
BUL.	BULLETIN	EP	ELECTRIC PANEL			PRV	POWER ROOF VENTILATOR	UL	UNDERWRITER			
		EQ.	EQUAL	J	JAN.	JANITOR		UL	LABORATORIES			
		EQUIP.	EQUIPMENT	JB	JUNCTION BOX	PVC	POLYVINYL CHLORIDE	UNFIN.	UNFINISHED			
C	CAB.	EWC.	ELECTRIC WATER COOLER	JST.	JOIST			UNO	UNLESS NOTED OTHERWISE			
CCTV	CLOSED CIRCUIT TELEVISION	EX.	EXISTING	JT.	JOINT			UR.	URINAL			
CD	COILING DOOR	EXC.	EXCAVATE	Q	QT.	QUARRY TILE		UTIL.	UTILITY			
CEIL.	CEILING	EXH.	EXHAUST									
CG	CORNER GUARD	EXIST.	EXISTING	K	KO	KNOCK OUT						
CH	COAT HOOK	EXP.	EXPANSION	KS	KNEE SPACE			R	RADIUS			
C.J.	CONSTRUCTION JOINT	EXT.	EXTERIOR	KW	KILOWATT			R.	RISER			
CLG.	CEILING			RA	RETURN-AIR			VCT	VINYL COMPOSITION TILE			
CLR.	CLEAR			RD	ROOF DRAIN			VENT.	VENTILATION			
CM	CONSTRUCTION MANAGER	F	FIRE ALARM	L	LAVATORY	REBAR	REINFORCED ROD	VERT.	VERTICAL			
CMU	CONCRETE MASONRY UNIT	FB	FIRE BLANKET	LAM.	LAMINATE	REC.	RECESSED	VEST.	VESTIBULE			
CO	CLEAN-OUT	LD	FIRE DAMPER	LAV.	LAVATORY	REF.	REFERENCE	VNL.	VINYL			
COL	COLUMN	FD	FLOOR DRAIN	LB.	POUND	REFRIG.	REFRIGERATOR	VTR.	VENT THROUGH ROOF			
COMB.	COMBINATION	FDN.	FOUNDATION	LIN.	LINEAR	REINF.	REINFORCING	VWC	VINYL WALL COVERING			
CONC.	CONCRETE	FE	FIRE EXTINGUISHER	LKR.	LOCKER	REQD.	REQUIRED					
CONF.	CONFERENCE	FEC	FIRE EXTINGUISHER CAB.	LL	LEAD LINED	RET.	RETAINING					
CONN.	CONNECTION	FH	FIRE HOSE	LLH	LONG LEG HORIZONTAL	REV.	REVISION	W/W.	WIDE			
CONST.	CONSTRUCTION	FHC	FIRE HOSE CABINET	LLV	LONG LEG VERTICAL	RH	ROOF HATCH	W/	WITH			
CONT.	CONTINUOUS	FIN.	FINISH	LP	LIGHT POLE	RM.	ROOM	W/O	WITHOUT			
CONTR.	CONTRACTOR	FIXT.	FIXTURE	LVR.	LOUVER	RO	ROUGH OPENING	WC	WATER CLOSET			
COORD.	COORDINATE	FLR.	FLOOR	R&S	ROD AND SHELF			WD.	WOOD			
CORR.	CORRIDOR	FLASH.	FLASHING					WDW.	WINDOW			
CPT.	CARPET	FLEX.	FLEXIBLE	M	MANUAL			WF	WIDE FLANGE			
CT	CERAMIC TILE	FLG.	FLANGE	MATL.	MATERIAL	S.S.	SINK	WGT.	WEIGHT			
CTR.	CENTER	FLUOR.	FLUORESCENT	MAX.	MAXIMUM	SCHED.	SCHEDULE	W.H.	WATER HEATER			
CTSK.	COUNTERSINK	FM	FACTORY MUTUAL	MECH.	MECHANICAL	SD	SMOKE DAMPER	WHCR.	WHEEL CHAIR			
CUH	CABINET UNIT HEATER	FP	FIREPROOF	MEMB.	MEMBRANE	SECT.	SECTION	WP	WATERPROOF			
CW	COLD WATER	FRMG.	FRAMING	MTL.	METAL	SF	SQUARE FOOT/FEET	WS	WEATHERSTRIP			
CYL.	CYLINDER	FS	FLOOR SINK	MEZZ.	MEZZANINE	SH.	SHelf	WSCT.	WAINSCOAT			
		FT.	FOOT/FEET	MFG.	MANUFACTURING	SHR.	SHOWER	W.W.F.	WELDED WIRE MESH			
		FTG.	FOOTING	MFR.	MANUFACTURER	SHT.	SHEET					
		FTN.	FOUNTAIN	MH	MANHOLE	SHTG.	SHEATHING					
		FUT.	FUTURE	MIN.	MINIMUM	SIM.	SIMILAR	X	XFMR	TRANSFORMER		
		MIR.	MIRROR	MISC.	MISCELLANEOUS	SPEC.	SPECIFICATION					
		M.O.	MASONRY OPENING					Y	YD.	YARD		
		MTD.	MOUNTED									



ACCESSIBLE ROUTE / RAMPS

4.8.1.1 GENERAL
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8.

4.8.2 SLOPE AND RISE
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN. CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.



SIGN MOUNTING LOCATION

ICC/ANSI A117.1, 703.2.7. MOUNTING HEIGHT.
CHARACTERS SHALL BE 48 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE ADJACENT FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE CHARACTERS.
EXCEPTION: ELEVATOR CAR CONTROLS.

ICC/ANSI A117.1, 703.2.8. MOUNTING LOCATION.
WHERE A SIGN CONTAINING TACTILE CHARACTERS IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONG SIDE THE DOOR ON THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.
SIGNS CONTAINING TACTILE CHARACTERS SHALL HAVE AN 18" X 18" MINIMUM SPACE ON THE FLOOR OR GROUND, CENTERED ON THE SIGN, BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED AND 45° OPEN POSITION.
EXCEPTION: DOOR-MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

DOOR HARDWARE HEIGHT

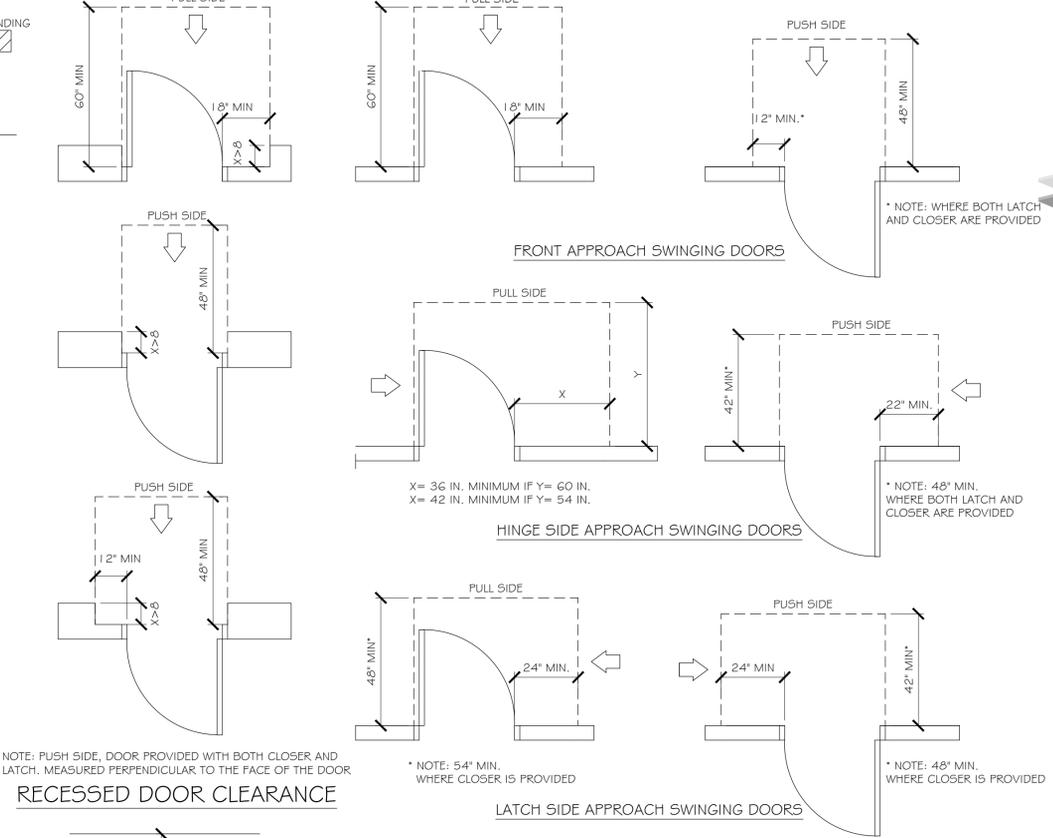
IBC 1008.1.8.2. HARDWARE HEIGHT.
DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. AREAS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.

MINIMUM CEILING HEIGHTS

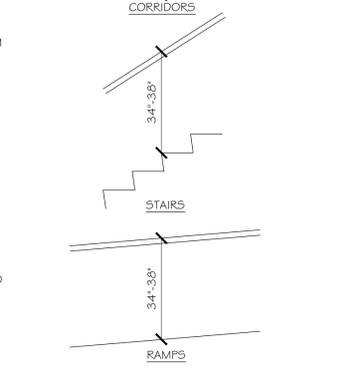
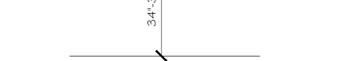
IBC 1209.2 MINIMUM CEILING HEIGHTS.
OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.

EXCEPTION: IF ANY ROOM IN A BUILDING HAD A SLOPED CEILING, THE PRESCRIBED CEILING HEIGHT FOR THE ROOM IS REQUIRED IN ONE-HALF THE AREA THEREOF. ANY PORTION OF THE ROOM MEASURING LESS THAN 5 FEET FROM THE FINISHED FLOOR TO THE CEILING SHALL NOT BE INCLUDED IN ANY COMPUTATION OF THE MINIMUM AREA THEREOF.

IBC 1208.2.1 FURRED CEILING.
ANY ROOM WITH A FURRED CEILING SHALL BE REQUIRED TO HAVE THE MINIMUM CEILING HEIGHT IN TWO-THIRDS OF THE AREA THEREOF, BUT IN NO CASE SHALL THE HEIGHT OF THE FURRED CEILING BE LESS THAN 7 FEET.

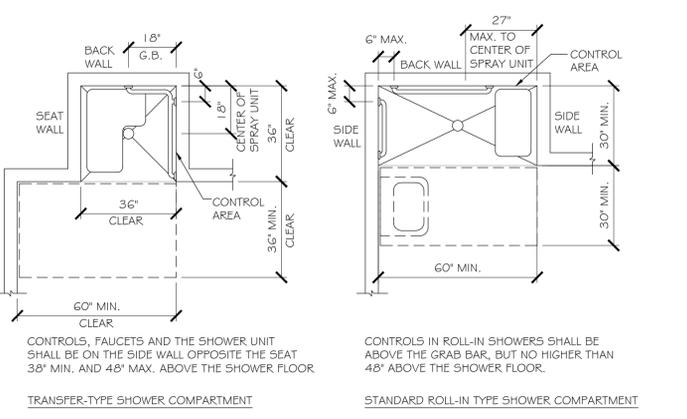


RECESSED DOOR CLEARANCE



HANDRAIL HEIGHT

MANEUVERING CLEARANCES AT SWINGING DOORS

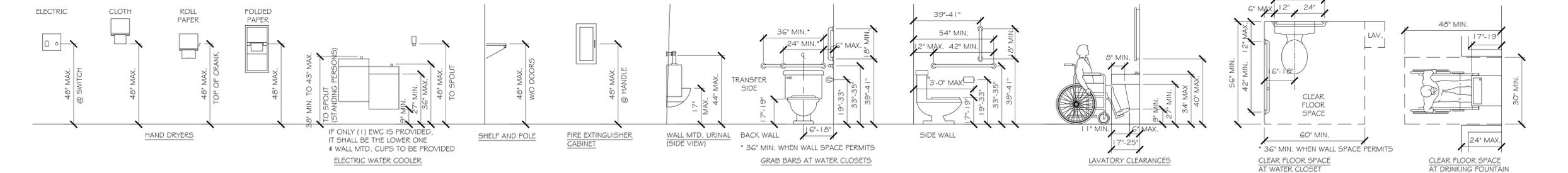


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ARCHITECTS
1050 SOUTH GRIDER STREET
APPLETON, WISCONSIN 54914
PHONE: 920-364-9850

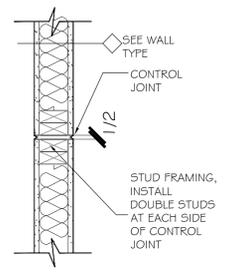
PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

DRAWN BY
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TFM
DATE
02/23/24
PROJECT NO.
245005

G1.2

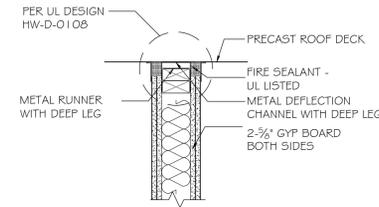


TOILET AND BUILDING ACCESSORY MOUNTING HEIGHTS AND CLEARANCES



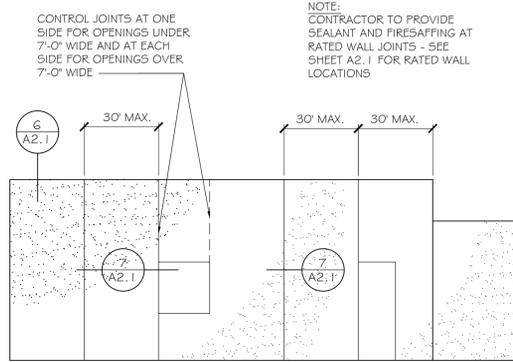
TYPICAL GYP. BD. CONTROL JOINTS

SCALE: N.T.S. 7 A2.1



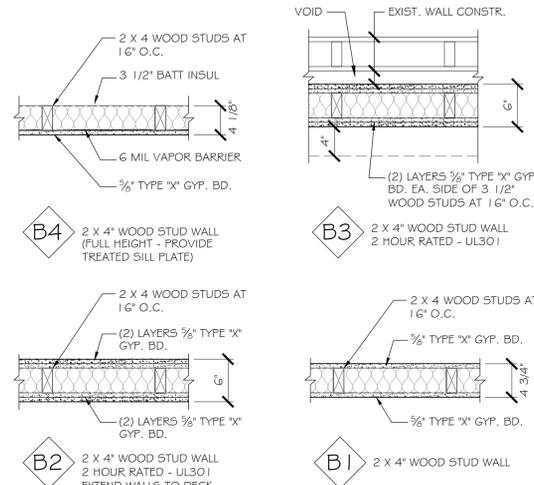
WALL TO DECK AT RATED WALL LOCATIONS

SCALE: N.T.S. 6 A2.1



TYP. GYP. BD. CONTROL JOINTS

SCALE: N.T.S. 5 A2.1



WALL TYPES

SCALE: 1\"/>

GENERAL NOTES

INSURE UPDATED FIRE SAFETY AND EVACUATION PLANS ARE IN PLACE AT TIME OF CERTIFICATE OF OCCUPANCY. (IFC 404.2)

ALL EMPLOYEES SHALL BE TRAINED IN THE FIRE EMERGENCY PROCEDURES AT TIME OF OCCUPANCY. (IFC 406)

ADDRESS TO BE POSTED AT FRONT AND REAR EGRESS DOORS.

ALL ROOMS CONTAINING FIRE PROTECTION EQUIPMENT SHALL BE CLEARLY LABELED. (IFC 510.1)

PLAN NOTES

- ALIGN NEW WALL WITH EXISTING CONSTRUCTION
- PROVIDE (2) LAYERS 5/8\"/>
- PROVIDE VINYL COATED ACOUSTIC CEILING IN THIS ROOM AT 8'-6\"/>
- SITE CLEAR EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW 2 HOUR RATED DOOR AND FRAME
- SITE CLEAR EXISTING ASPHALT PAVING. PROVIDE NEW 4\"/>
- PATCH EXISTING ASPHALT INTO NEW CONCRETE SLAB WITH A SMOOTH TRANSITION
- EXHAUST FAN
- REMOVE EXISTING CEILING MOUNTED UNIT HEATER. NEW HEATER BY OTHERS

** GC PATCH EXISTING CONSTRUCTION AS REQUIRED



REFERENCE PHOTO

SCALE: NO SCALE 3 A2.1



REFERENCE PHOTO

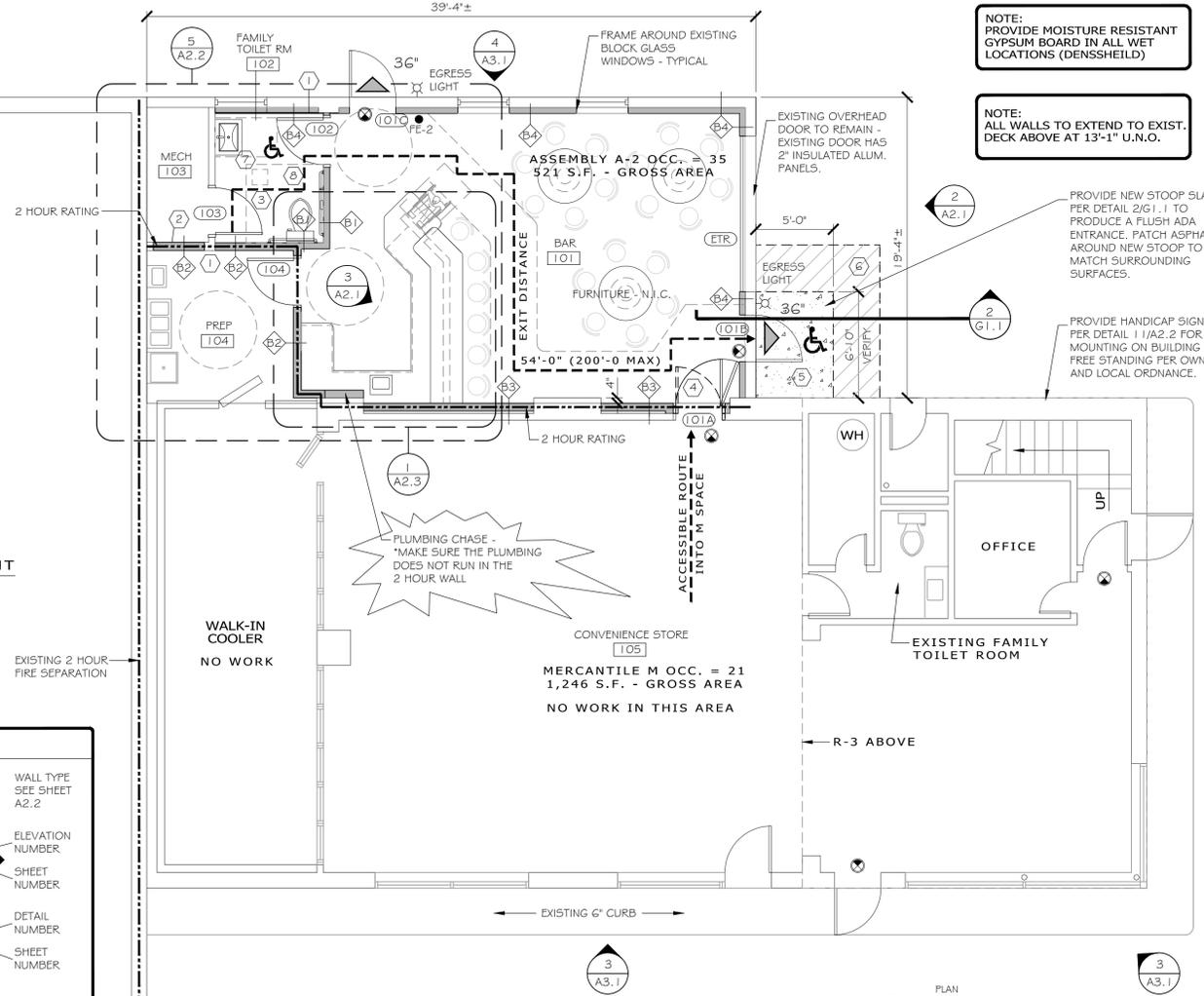
SCALE: NO SCALE 2 A2.1

KEY

- 2 HR RATED FIRE BARRIER
- 1 HR RATED FIRE BARRIER
- x'-x\"/>
- x\"/>
- EGRESS WIDTH
- FE-2 FIRE EXTINGUISHER
- EXIT LIGHT (EXISTING)
- EXIT LIGHT
- EGRESS LIGHT
- ACCESSIBLE

PLAN LEGEND

- EXISTING WALL
- EXISTING WALL TO BE SITE CLEARED
- NEW WALL CONSTRUCTION SEE WALL TYPES SHEET A2.2
- PLAN NOTE REFERENCE
- DOOR ID NUMBER SEE DOOR SCHED. A7.1
- NAME ROOM ID AND NUMBER
- WALL TYPE SEE SHEET A2.2
- ELEVATION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER



FIRST FLOOR / CODE PLAN

SCALE: 3/16\"/>



CONSTRUCTION DOCUMENTS

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RMA ARCHITECTS

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A2.2

CONSTRUCTION DOCUMENTS

ROOM FINISH SCHEDULE

ROOM TAG	ROOM NAME	FLOOR	BASE	WALLS								CEILING	NOTES
				NORTH		EAST		WEST		SOUTH			
				S	F	S	F	S	F	S	F		
101	BAR AREA	POLISHED CONC.	VB	ETR / GYP	PAINT	GYP	PAINT	ETR	PAINT	ETR / GYP	PAINT	ETR - 13'-1"	ETR PRECAST STRUCTURE
102	FAMILY TOILET	VINYL	VB	GYP	PAINT	GYP	PAINT	ETR	PAINT	GYP	PAINT	ACT - 9'-0"	VINYL COATED ACT
103	MECHANICAL	ETR	ETR	GYP	PAINT	ETR	PAINT	ETR	PAINT	ETR	PAINT	---	---
104	PREP	ETR	ETR	ETR	PAINT	GYP	PAINT	ETR	PAINT	ETR / GYP	PAINT	---	---
105	CONVENIENCE STORE	ETR	ETR	ETR	PAINT	ETR	PAINT	ETR	PAINT	ETR	PAINT	---	---

DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME		DETAILS			HDWR GROUP	FIRE RATING	REMARKS	
	WIDTH	HEIGHT	TYPE	MAT.	DEPTH	TYPE	MAT.	HEAD	JAMB				SILL
101A	3'-0"	7'-0"	D-1	HM	7"	F-1	HM	3/A2.2	3/A2.2	---	1	2 HR	---
101B	ETR	ETR	ETR	ETR / HM	ETR	ETR	ETR	---	---	---	3	---	REPLACE HARDWARE WITH LEVER HANDLE. PROVIDE NEW SWEEP AND SEALS.
101C	ETR	ETR	ETR	ETR / HM	ETR	ETR	ETR	---	---	---	3	---	REPLACE HARDWARE WITH LEVER HANDLE. PROVIDE NEW SWEEP AND SEALS.
102	3'-0"	7'-0"	D-1	HM	5 3/4"	F-1	HM	3/A2.2	3/A2.2	---	2	---	---
103	3'-0"	7'-0"	D-1	HM	5 3/4"	F-1	HM	SIM. 3/A2.2	SIM. 3/A2.2	---	4	---	---
104	3'-0"	7'-0"	D-1	HM	7"	F-1	HM	4/A2.2	4/A2.2	---	1	2 HR	PROVIDE HOLD OPEN AND ALARM

HARDWARE SCHEDULE

GROUP	TYPE	LOCK	RIM CYLINDER	HINGES	STOP	CLOSER	EXIT DEVICE	REMARKS
1	PASSAGE	ND105 RHO	N/A	BB1279	WS407CCV	4011 CUSH	N/A	---
2	PRIVACY	ND405 RHO	N/A	BB1279	WS407CCV	N/A	N/A	---
3	ENTRY	ND53RD RHO	N/A	BB1279	WS407CCV	N/A	N/A	---
4	STOREROOM	NDBORD RHO	N/A	BB1279	WS407CCV	N/A	N/A	---

A. LOCKSETS EQUAL TO: SCHLAGE.
 B. KEYING EQUAL TO: KEY LOCKS IN SET. PROVIDE ALL LOCKSETS WITH SMALL FORMAT INTERCHANGABLE CORE.
 C. EXIT DEVICES EQUAL TO: INGERSOLL RAND VON DUPPIN - 99 SERIES.
 D. HINGES EQUAL TO: HAGER COMPANIES.
 E. STOPS & HOLDERS EQUAL TO: IVES
 F. CLOSERS EQUAL TO: LCN
 G. WEATHERSTRIPPING EQUAL TO: REESE
 H. ALL HARDWARE SHALL HAVE DULL CHROME 2GD FINISH.

ACCESSORY SCHEDULE

KEY NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	QTY.	REMARKS
A	TOILET	ZURN	Z5562	1	---
B	WALL HUNG LAVATORY	KOHLER	K-1997-4-0	1	---
C	WALL HUNG LAVATORY FAUCET	DELTA	541-DST	1	---
D	GRAB BARS	BOBRICK	B-60GX36"	1	1,2
E	GRAB BARS	BOBRICK	B-60GX42"	1	1,2
F	GRAB BARS	BOBRICK	B-60GX18"	1	1,3
G	TOILET PAPER DISPENSER	BOBRICK	B-4388	1	1,4
H	ADA SIGNAGE (SEE DETAILS A2.2)	---	---	1	4
I	WALL MOUNTED MIRROR (24"X36")	BOBRICK	B-290	1	1,5
J	SOAP DISPENSER	BOBRICK	B-2111	1	1
K	PAPER TOWEL DISPENSER	BOBRICK	252	1	1

REMARKS NOTE: VERIFY PRODUCT MANUFACTURERS & MODEL NUMBERS WITH OWNER.
 1. REFER TO SHEET G1.2 FOR FURTHER DESCRIPTION AND MOUNTING REQUIREMENTS.
 2. HORIZONTAL.
 3. VERTICAL.
 4. MOUNT CENTER OF SIGN AT 60" A.F.F.
 5. MOUNT BOTTOM OF REFLECTIVE SURFACE MAX 40" A.F.F.

DESIGN NO. UL U301

FIRE RATING: 2 HOURS
 SOUND TEST: USG-15237
 SYSTEM THICKNESS: 1" (25.4 MM)
 LOCATION: INTERIOR
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)

UL U301 USG CGC

ASSEMBLY REQUIREMENTS:
 GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULUX™)
 WOOD STUDS: 2" X 4" (50 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.
 INSULATION: 3-1/2" (89 MM) FIBERGLASS INSULATION
 GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULUX™)

INSTALLATION INSTRUCTIONS

General: Areas to be protected must be clean and free of oil, loose dirt, rust or scale. Installation temperatures must be between 35°F and 100°F (2°C and 38°C). Allow product to dry a minimum of 24 hours before exposure to moisture.

System Selection: Selection of an appropriate firestop system design is critical to the protection process. Spaceloc® products provide highly detailed information pertaining to individual application systems. Please consult the STI Product & Application Guide as well as the UL® Fire Resistance Directory for additional information.

Forming: Some installations may require forming as either an integral part of the system or as an option to facilitate installation. In systems where forming is required, mineral wool batts (min. nom. 4 lbs/cu. ft. (64 kg/m³) density) are recommended. Some gypsum wallboard systems utilize fiberglass. Cut forming material over-size to allow for tight packing. Position forming material to allow for the proper depth of fill material.

Fill Material: Spaceloc® Series SSS Sealant may be installed by caulking using a standard caulking gun or from bulk containers using a bulk loading caulk gun, or by manually troweling using a mason's trowel or putty knife. If the sealant tends to pull back from a surface, clean the surface with a damp rag or sponge and reapply. Work sealant into all crevices extending gaps to eliminate voids or seams. The surface of the sealant can be smoothed using a putty knife dipped in water. Adding water to the sealant itself is not recommended. Sealant (when dry) may be sanded and painted using most non-solvent based paints. In gypsum wallboard penetrations, crown sealant 1/4" (6 mm) from penetrant to wallboard surface at a point approximately 12" (30 mm) or more from opening. Sealant (when dry) may be painted using most non-solvent based paints. In some applications including firestop collars, Spaceloc® Series SSS Sealant is recommended as a smoke seal. It is suggested in those applications that the sealant be applied to both sides of walls. In floor applications, a sealing bead is suggested top and bottom.

Fig. 3: ELECTRICAL DATA OR COMMUNICATIONS PENETRATIONS - RATED GYPSUM WALLBOARD ASSEMBLIES

UL SYSTEM W-L-3076
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 1 1/2" x 1 1/2" Cable Bundle
 1" x 1" Cable Bundle
 1" x 1" Cable Bundle
 1" x 1" Cable Bundle
 Sealant Depth: 5/8" with 1/4" Crown

UL SYSTEM W-L-2093
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 2" x 1 1/2" Cable Bundle
 2" x 1 1/2" Cable Bundle
 1-1/2" x 1 1/2" Cable Bundle
 1-1/2" x 1 1/2" Cable Bundle
 Sealant Depth: 5/8" with 1/4" Crown

Fig. 4: ELECTRICAL PENETRATIONS - CONCRETE/MASONRY FLOORS & WALLS

UL SYSTEM C-AJ-3154
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 1 1/2" x 1 1/2" Cable Bundle
 1 1/2" x 1 1/2" Cable Bundle
 1 1/2" x 1 1/2" Cable Bundle
 Sealant Depth: 1/2"

UL SYSTEM C-AJ-6008
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 Aluminum or Copper Bus Bar
 Aluminum or Copper Bus Bar
 Sealant Depth: 1/2"

Fig. 5: BARE & INSULATED METALLIC PIPE PENETRATIONS - RATED GYPSUM WALLBOARD ASSEMBLIES

UL SYSTEM W-L-1049
 F Rating: 2 Hr / T Rating: 2 Hr
 Seal or Non-Seal Pipe: 2" Copper Pipe
 Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-L-5014
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 Seal or Non-Seal Pipe: 2" Copper Pipe
 Sealant Depth: 5/8" with 3/8" Crown

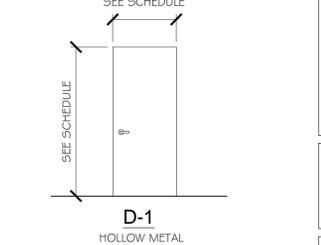
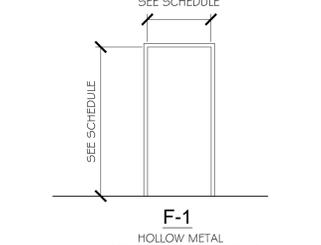
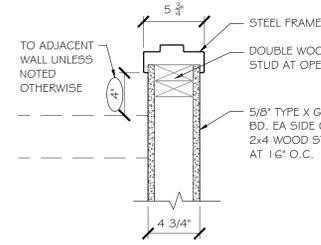
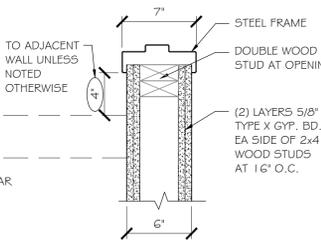
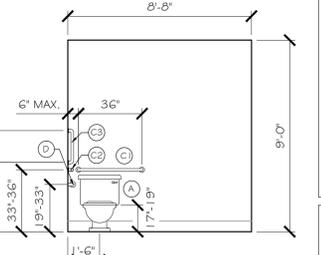
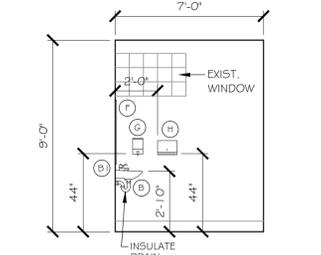
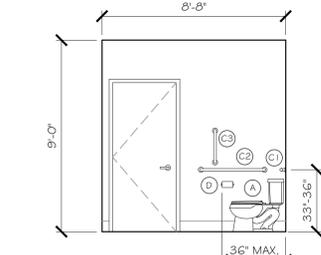
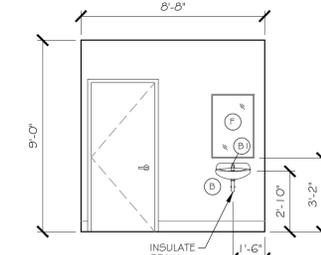
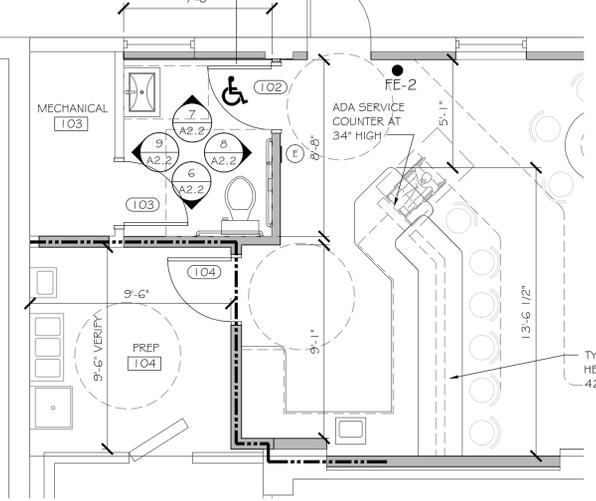
UL SYSTEM W-L-4051
 F Rating: 1-1/2 Hr / T Rating: 1-1/2 Hr
 Seal or Non-Seal Pipe: 1 1/2" Copper Pipe
 Sealant Depth: 5/8" with 3/8" Crown

Technical Service: 1-800-992-1190
 STI Product Data Sheet • Series SSS Intumescent Sealant • ZDF08-5001-1577

TWO (2) HOUR WALL PENETRATION ASSEMBLIES
 NO SCALE

TWO (2) HOUR WALL ASSEMBLY - UL -U301
 SCALE: NONE

REFER TO SHEET G1.2 FOR FURTHER DESCRIPTION AND MOUNTING REQUIREMENTS



HANDICAP SIGN DETAIL
 SCALE: 1/2" = 1'-0"

TOILET ROOM / BAR PLAN
 SCALE: 1/4" = 1'-0"

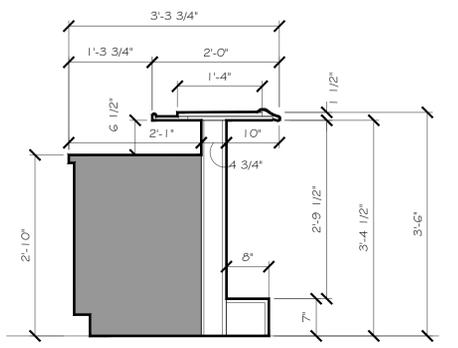
HEAD/JAMB DTL.
 SCALE: 1/2" = 1'-0"

HEAD/JAMB DTL.
 SCALE: 1/2" = 1'-0"

FRAME TYPES
 SCALE: 1/4" = 1'-0"

DOOR TYPES
 SCALE: 1/4" = 1'-0"

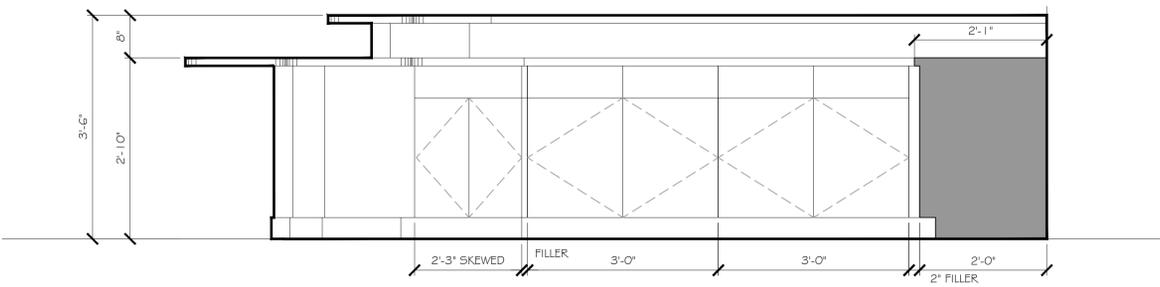
NOTE: THESE ELEVATIONS/ PLAN ARE FOR MATERIAL TAKE OFFS AND REFERENCE ONLY. THE OWNER WILL DECIDE THE MATERIALS OF THE BAR/ BACK BAR.



TYP. BAR SECTION

SCALE: 3/4" = 1'-0"

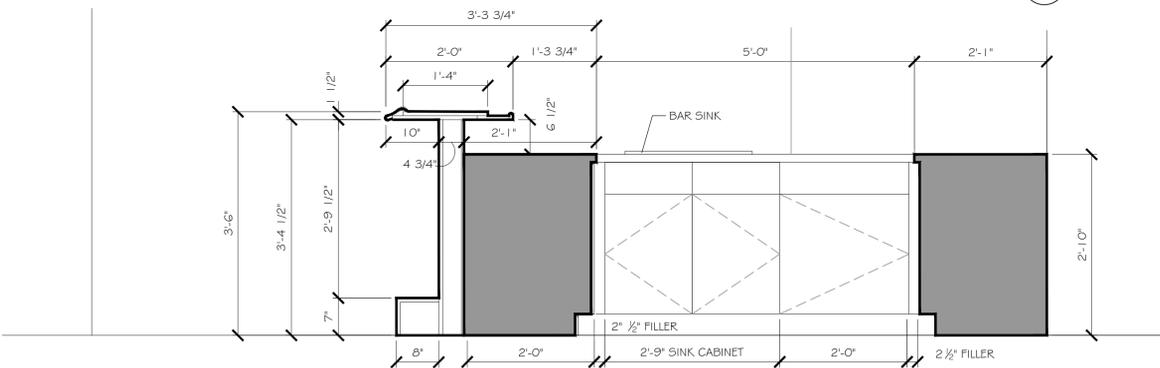
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A2.3



BAR SECTION/ELEV.

SCALE: 3/4" = 1'-0"

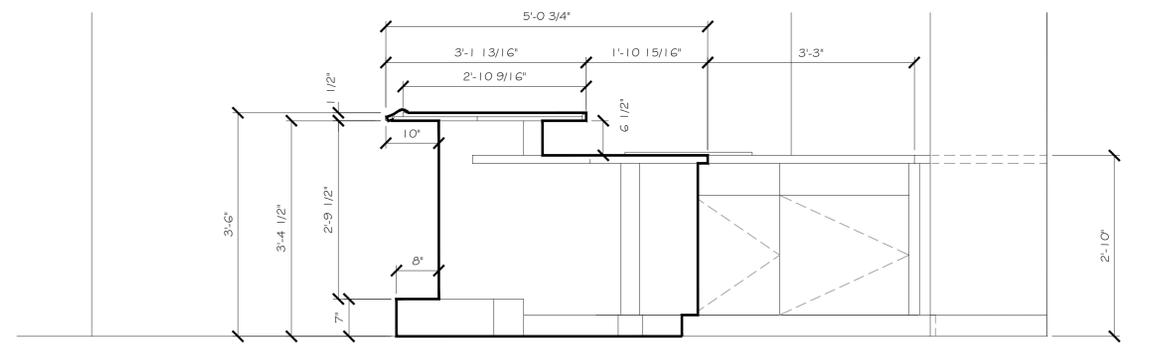
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A2.3



BAR SECTION/ELEV.

SCALE: 3/4" = 1'-0"

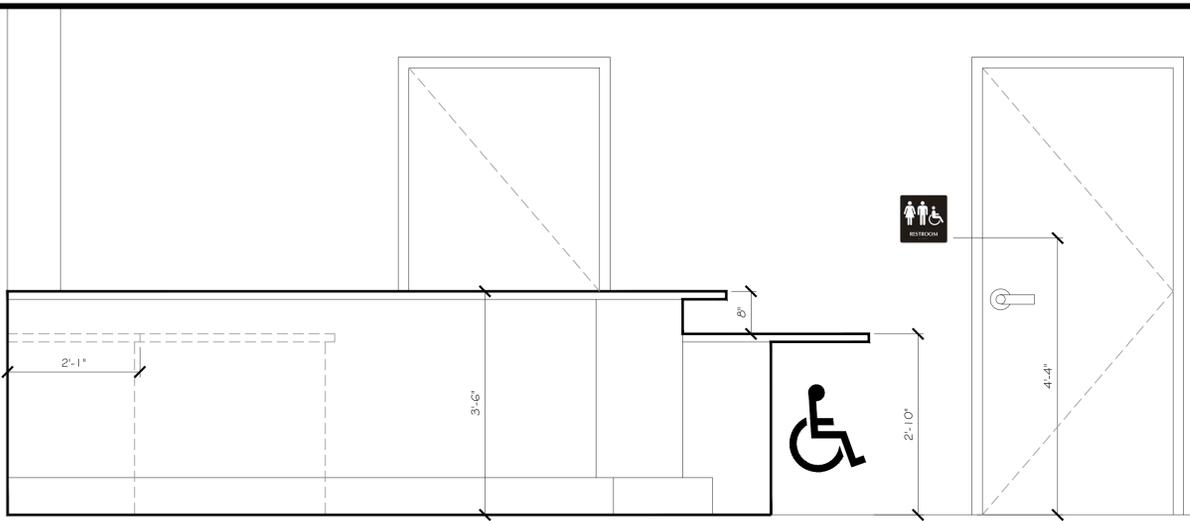
4
A2.3



SIDE BAR ELEV.

SCALE: 3/4" = 1'-0"

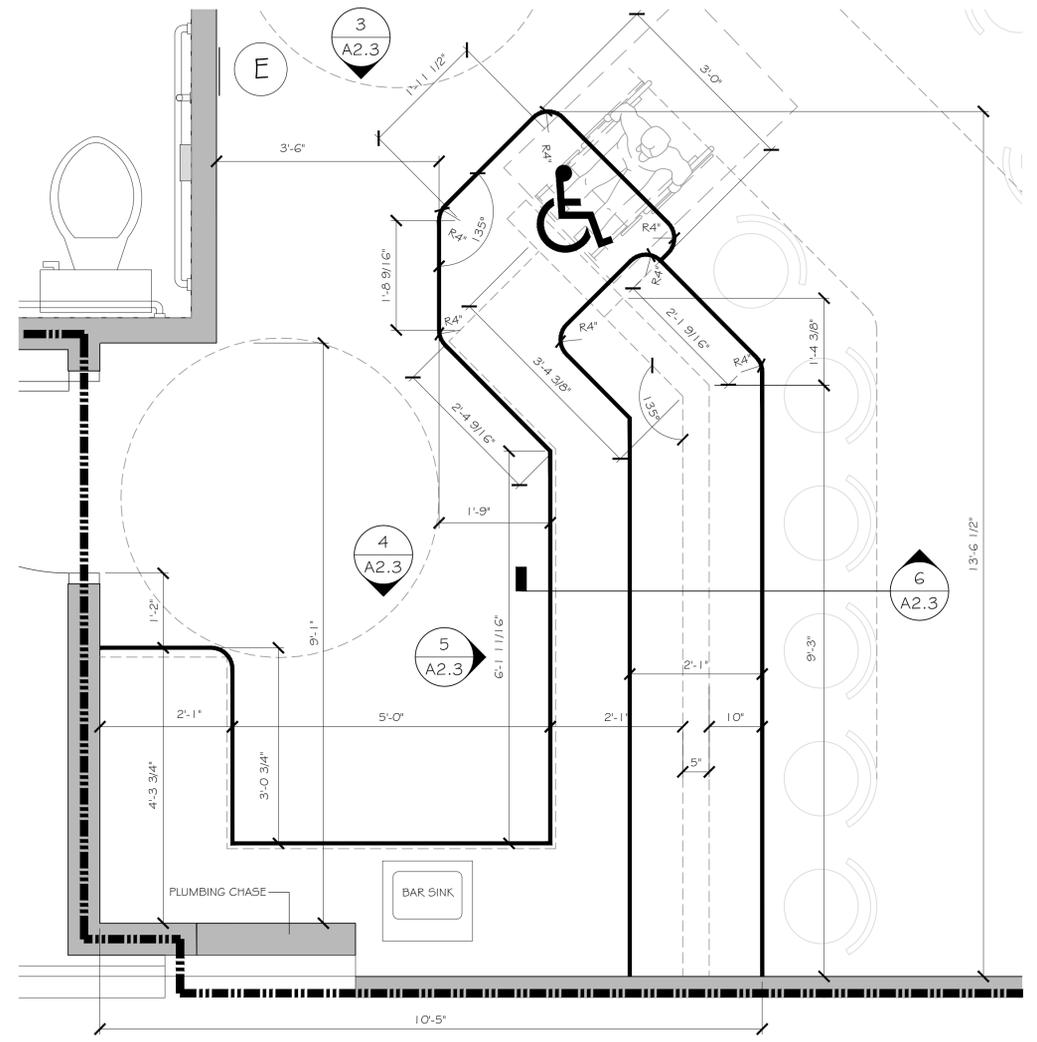
3
A2.3



FRONT OF BAR ELEVATION

SCALE: 3/4" = 1'-0"

2
A2.3



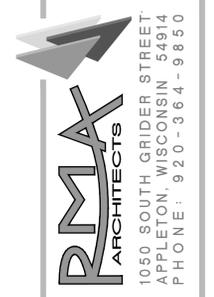
BAR PLAN

SCALE: 3/4" = 1'-0"

1
A2.3



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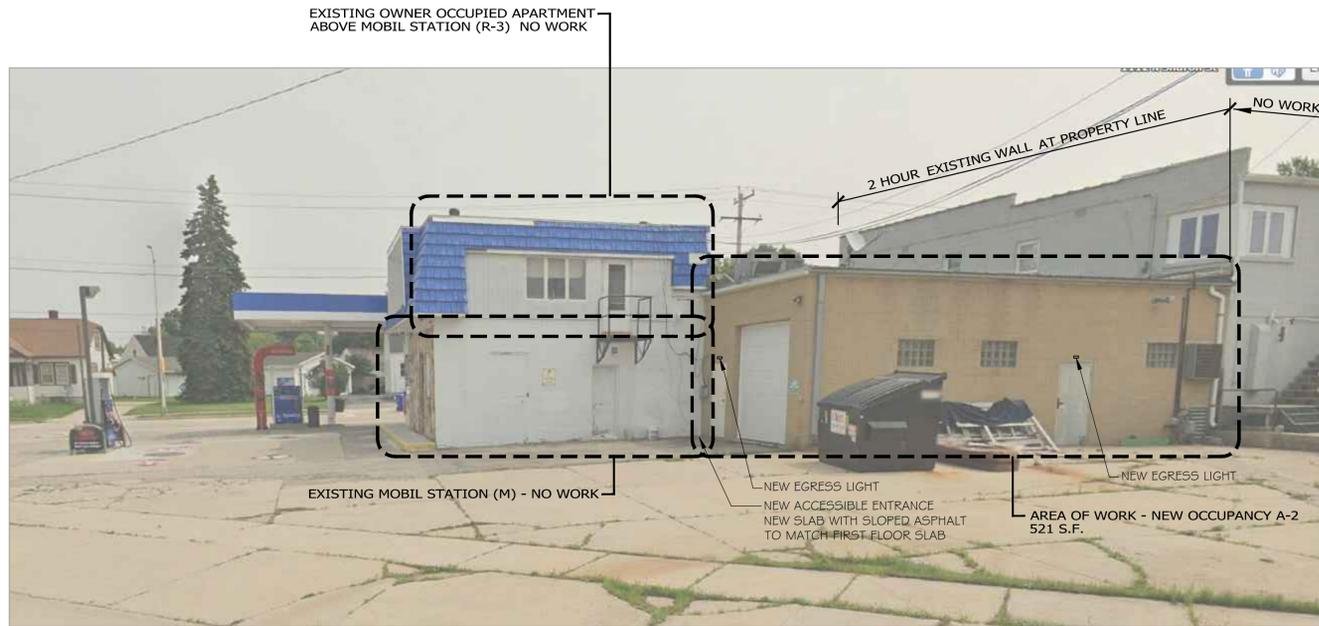
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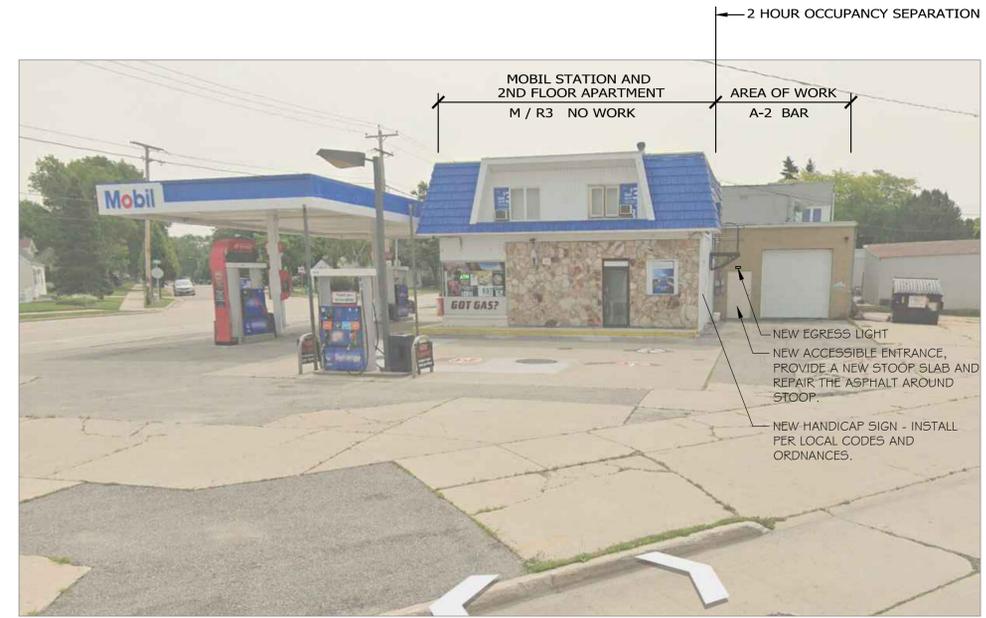
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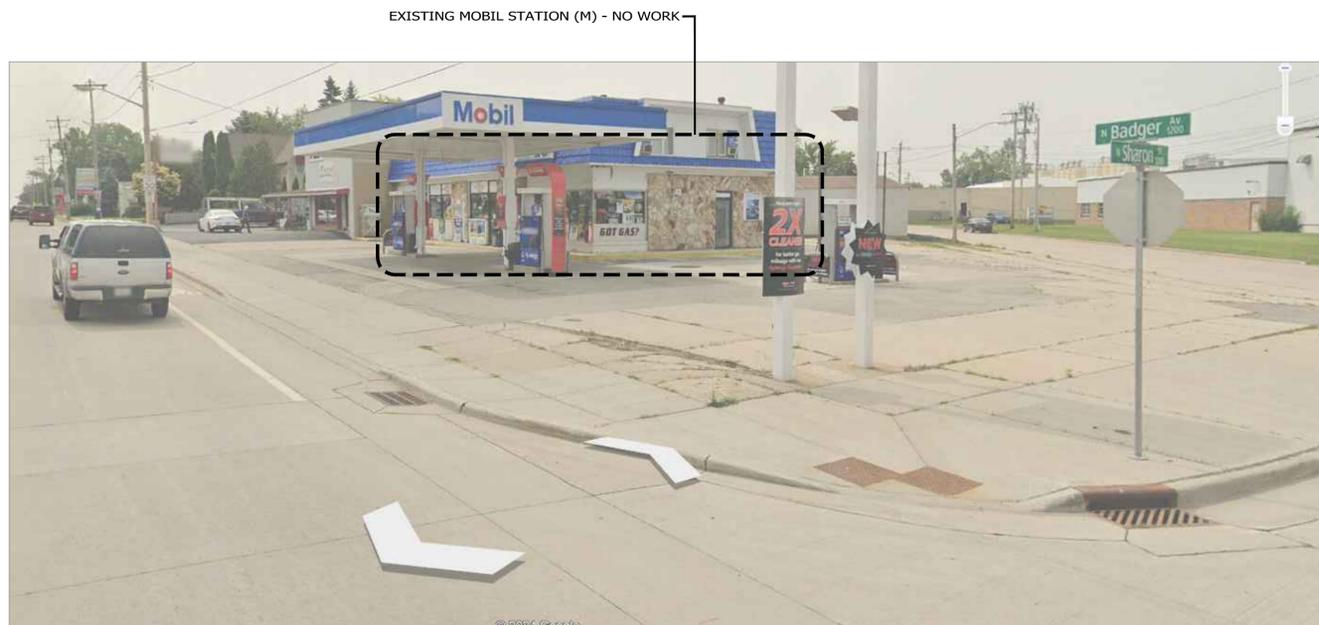
A2.3



REFERENCE PHOTO (BACK) 4 A3.1
SCALE: NO SCALE



REFERENCE PHOTO (SIDE) 2 A3.1
SCALE: NO SCALE



REFERENCE PHOTO AT BADGER AVE AND N. SHARON ST (FRONT / SIDE) 3 A3.1
SCALE: NO SCALE



REFERENCE PHOTO AT BADGER AVE (FRONT) 1 A3.1
SCALE: NO SCALE

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A3.1



*Community
and Economic
Development*

REPORT TO CITY PLAN COMMISSION

Plan Commission Public Hearing Date: April 24, 2024

Common Council Meeting Date: May 1, 2024

Item: Special Use Permit #1-24 to remodel the existing storage garage into a 521 sq. ft. tavern

Case Manager: Don Harp, Principal Planner

GENERAL INFORMATION

Owner: Satbir Singh, SK Gas Mart, LLC

Applicant: Timothy Maertz, Architect – RMA Architects, Inc.

Address/Parcel #: 1201 North Badger Avenue (Tax Id #31-5-2130-00)

Petitioner's Request: Remodel the existing storage garage attached to the convenience store into a tavern. The remodel will include adding a new ADA toilet room, accessible parking stall, and striping the parking lot to show 11 parking stalls.

BACKGROUND

The building was constructed in 1952 per Building Permit #498, and the property contains Mobil Gas Station/Convenience Store with retail alcohol sales, an off-street parking lot, and a 2nd floor apartment. The western portion of the building is currently used as a garage for storage purposes.

STAFF ANALYSIS

Project Summary: The owner proposes to remodel the existing storage garage into a 521 sq. ft. tavern.

Operational Information: A plan of operation is attached to the staff report.

Proposed Indoor Seating Capacity: 56 persons per plan of operation.

Outdoor Seating Area: No outdoor alcohol sales and consumption is requested with this application.

Existing Site Conditions: The existing gas station/convenience store with retail alcohol sales totals approximately 1,767 square feet, 6 gas pumps serving 6 vehicles, and an 11-stall off-street parking lot. The 2nd floor apartment totals approximately 700 square feet.

Special Use Permit #1-24
April 24, 2024
Page 2

Off-Street Parking Requirements: Section 23-172(m) of the Municipal Code requires a minimum number of off-street parking spaces based on the use of a property. Based on the existing convenience store and proposed tavern, a total of 8 parking spaces would be required (1 space per 250 square feet of gross floor area) for multiple uses within a single building plus 2 parking spaces for the 2nd floor apartment. There are 11 parking spaces identified on the site plan drawing.

Current Zoning and Procedural Findings: The subject property has a zoning designation of C-2 General Commercial District. Per Section 23-113(e) of the Municipal Code, a tavern requires a Special Use Permit in the C-2 District. The Plan Commission makes a recommendation to the Common Council who will make the final decision on the Special Use Permit. A two-thirds vote of the Common Council is required for approval.

Surrounding Zoning and Land Uses: The surrounding area is under the jurisdiction of the City of Appleton (north, south, east, and west). The uses are generally industrial, commercial and residential in nature.

North: C-2 General Commercial District. The adjacent land uses to the north are commercial uses, single-family residential, and a vacant lot. (Future land use map recommends Mixed-Use and Single/Two family for adjacent properties)

South: C-2 General Commercial District. The adjacent land uses to the south are commercial uses. (Future land use map recommends Mixed-Use for adjacent properties)

East: R-1B Single-family District. The adjacent land uses to the east are residential uses. (Future land use map recommends Single/Two family for adjacent properties)

West: C-2 General Commercial District. The adjacent land uses to the west are currently light manufacturing uses. (Future land use map recommends Industrial for adjacent properties)

Appleton Comprehensive Plan 2010-2030: Community and Economic Development staff has reviewed this proposal and determined it is compatible with the Commercial designation shown on the City's *Comprehensive Plan 2010-2030* Future Land Use Map. Listed below are related excerpts from the City's *Comprehensive Plan 2010-2030*.

Goal 1 – Community Growth

Appleton will continue to provide opportunities for residential, commercial, and industrial growth, including appropriate redevelopment sites within the downtown and existing neighborhoods, and greenfield development sites at the City's edge.

Special Use Permit #1-24
April 24, 2024
Page 3

Goal 8 – Economic Development

Appleton will pursue economic development that retains and attracts talented people, brings good jobs to the area, and supports the vitality of its industrial areas, downtown, and neighborhood business districts.

OBJECTIVE 9.4 Economic Development:

Ensure the continued vitality of downtown and the City’s neighborhood commercial districts.

Technical Review Group (TRG) Report: This item appeared on the April 2, 2024 TRG agenda. Comments from participating departments are identified in the “substantial evidence conditions of approval” section (below).

Clerk’s Office: As this plan still includes a connection to the convenience store, which holds a separate type of alcohol license, I would not be able to recommend approval of an alcohol license for the bar area as proposed. If the plan remains unchanged, leaving a doorway between the spaces, I will provide a denial recommendation for the license application to the Safety & Licensing Committee.

The two businesses holding separate licenses cannot have the premises connected to one another.

Zoning Ordinance Requirements and Substantial Evidence: When reviewing an application for a Special Use Permit, the City must determine if the applicant’s proposal satisfies Municipal Code requirements and conditions. Pursuant to Section 23-66(c)(5) of the Municipal Code, the Plan Commission and Common Council must provide substantial evidence supporting their decision to approve, approve with conditions, or deny the Special Use Permit. Substantial evidence means “facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a Special Use Permit and that reasonable persons would accept in support of a conclusion.” Any requirements and conditions listed for approval must be reasonable, and to the extent practicable, measurable.

Substantial Evidence Conditions of Approval:

- Section 23-40(a)(1) Application of district regulations, no structure or land shall hereafter be used or occupied, and no structure or part thereof shall hereafter be constructed, reconstructed or structurally altered except in conformity with all of the regulations specified for the C-2 District with respect to this proposed use. (Relates to change of use from a storage garage to a tavern)
- Section 23-172(m) a total of 8 parking spaces would be required (1 space per 250 square feet of gross floor area) for multiple uses occupying one building, plus 2 spaces for the 2nd floor apartment. Per Section 23-172(e)(2), the off-street parking spaces shall be stripped. (Relates to change of use from auto maintenance storage garage)

Findings of Fact: This request was reviewed in accordance with the standards for granting a Special Use Permit under Section 23-66(e)(1-8) of the Municipal Code: 1. *proper zoning district:* C-2 zoning allows a tavern as a special use permit; 2. *zoning district regulations:* the district regulations appear to be satisfied pursuant to the attached site plan, formal verification of regulations being satisfied will occur during the building permit and inspection process per stipulation 4 (below); 3. *special regulations:* stipulations 1, 2, 3 and 4 (below) address the special regulations for a tavern use; 4. *consistent with comprehensive plan and other plans:* yes, see above analysis; 5. *traffic:* the proposed use is not expected to create undue traffic congestion, it is anticipated customers will utilize existing on-site parking spaces to park their cars; 6. *landscaping and screening:* not applicable to this use. 7. *neighborhood compatibility with predominant land uses in this area:* the proposed use is located near other existing and future commercial/light industrial uses in this area of City; 8. *impact on services:* the City has existing utilities and services in place to serve this proposed use. These standards were found in the affirmative, as long as all stipulations are satisfied.

RECOMMENDATION

Staff recommends, based on the above analysis, that Special Use Permit #1-24 for a tavern located at 1201 North Badger Avenue (Tax Id #31-5-2130-00) as shown on the attached maps and per attached plan of operation, along with the attached resolution, **BE APPROVED** to run with the land, subject to the following conditions:

1. The applicant shall receive approval of a Liquor License from the City Clerk prior to serving alcohol on the premises.

Substantial Evidence: This condition provides notice to the applicant that a Liquor License is also needed prior to serving alcohol.

2. The use shall conform to the standards established in Chapter 9, Article III, Alcoholic Beverages, of the Appleton Municipal Code.

Substantial Evidence: This condition is one of the special regulations included in Section 23-66(h)(6) of the Zoning Ordinance for this particular use. The floor plan must be revised, showing the convenience store area and walk-in cooler completely walled off and separated from the proposed tavern area before the owner can receive an alcohol license for the tavern. The convenience store and tavern must have separate entrances, separate restrooms, and separate storage areas for the alcohol.

3. The site shall be kept free of litter and debris.

Substantial Evidence: This condition is one of the special regulations included in Section 23-66(h)(6) of the Zoning Ordinance for this particular use.

4. All Zoning, Building, Fire, Engineering, Utility and other Municipal Codes (Article IV. Noise) and all applicable State and Federal laws shall be complied with, including but not limited to the following:

- a. Section 23-172(m) and (e)(2) a total of 10 parking spaces are required to be striped on site (1 space per 250 square feet of gross floor area) for multiple uses occupying one building, plus the second floor apartment, prior to issuance of an occupancy permit.

Substantial Evidence: This condition is one of the special regulations included in Section 23-66(h)(6) of the Zoning Ordinance for this particular use.

5. The serving and consumption of alcohol is limited to the interior tenant space, as identified on the attached development plan and floor plan drawings. Any future expansions for the serving and/or consumption of alcohol may require a major or minor amendment request to this Special Use Permit, pursuant to Section 23-66(g) of the Municipal Code.

Substantial Evidence: Standardized condition that establishes parameters for the current application and identifies the process for review of any future changes to the special use.

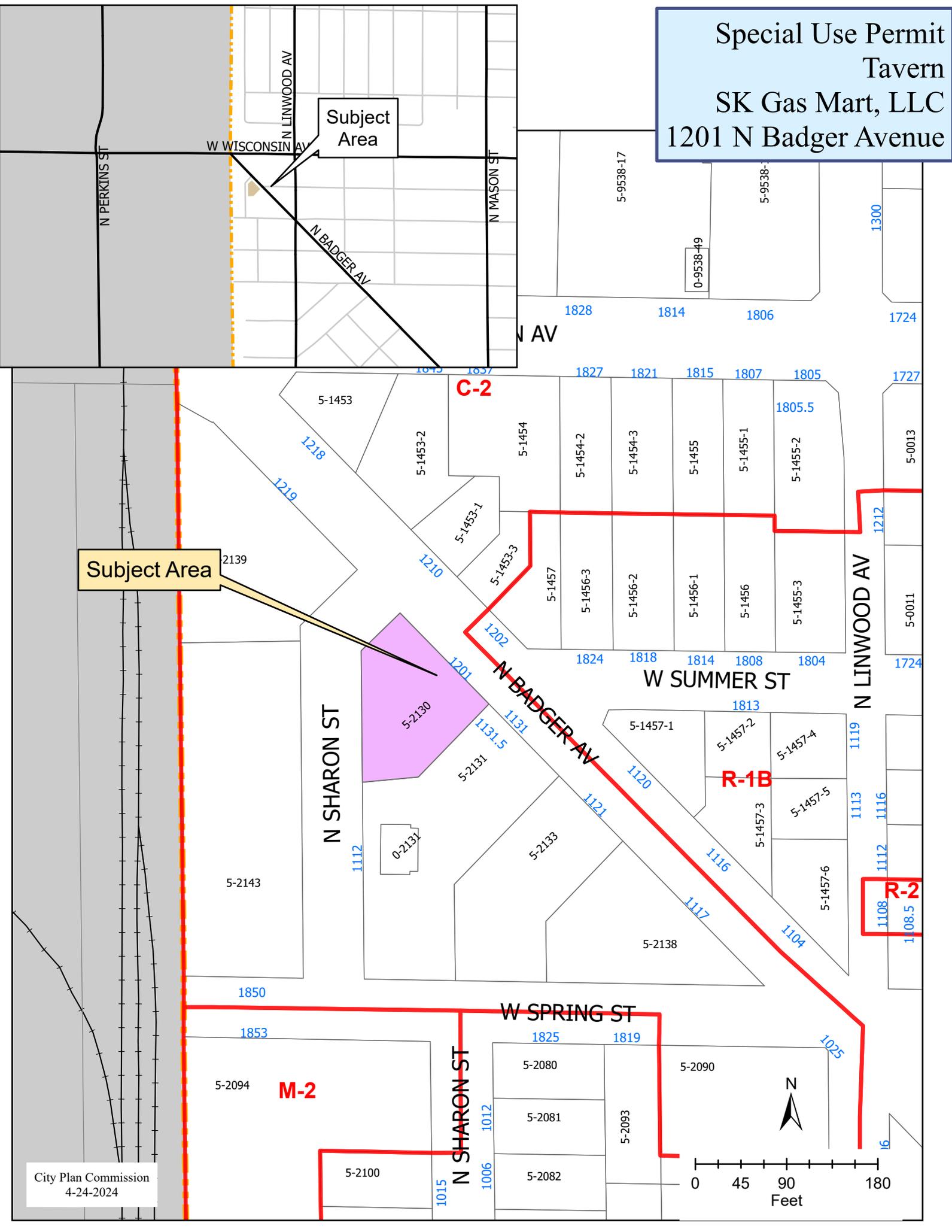
6. Any expansions of the special use, changes to the development plan(s), plan of operation or any conditions of approval may require a major or minor amendment request to this Special Use Permit pursuant to Section 23-66(g) of the Zoning Ordinance. Contact the Community and Economic Development Department to discuss any proposed changes.

Substantial Evidence: Standardized condition that establishes parameters for the current application and identifies the process for review of any future changes to the special use.

Special Use Permit
Tavern
SK Gas Mart, LLC
1201 N Badger Avenue

Subject Area

Subject Area



**CITY OF APPLETON
RESOLUTION FOR SPECIAL USE PERMIT #1-24
TAVERN
1201 NORTH BADGER AVENUE**

WHEREAS, Satbir Singh, SK Gas Mart, LLC has applied for a Special Use Permit to remodel the existing storage garage into a 521 sq. ft. tavern located at 1201 North Badger Avenue, also identified as Parcel Number 31-5-2130-00; and

WHEREAS, the proposed tavern is located in the C-2 General Commercial District, and the proposed use may be permitted by Special Use Permit within this zoning district pursuant to Chapter 23 of the Municipal Code; and

WHEREAS, the City of Appleton Plan Commission held a public hearing on April 24, 2024 on Special Use Permit #1-24, at which all those wishing to be heard were allowed to speak or present written comments and other materials at the public hearing; and

WHEREAS, the City of Appleton Plan Commission has reviewed and considered the Community and Economic Development Department’s staff report and recommendation, as well as other spoken and written evidence and testimony presented at the public hearing; and

WHEREAS, the City of Appleton Plan Commission reviewed the standards for granting a Special Use Permit under Sections 23-66(e)(1-8) of the Municipal Code; and

WHEREAS, the City of Appleton Plan Commission reviewed the standards for imposing conditions on the Special Use Permit under Section 23-66(c)(5) of the Municipal Code, and forwarded Special Use Permit #1-24 to the City of Appleton Common Council with a favorable conditional or not favorable (CIRCLE ONE) recommendation; and

WHEREAS, the City of Appleton Common Council has reviewed the report and recommendation of the City of Appleton Plan Commission at their meeting on May 1, 2024.

NOW, THEREFORE, BE IT RESOLVED, DETERMINED AND ORDERED by the Common Council, based on Community and Economic Development Department’s staff report and recommendation, as well as other spoken and written evidence and testimony presented at the public hearing and Common Council meeting, and having considered the recommendation of the City Plan Commission, that the Common Council:

1. Determines all standards listed under Sections 23-66(e)(1-8) of the Municipal Code are found in the affirmative YES or NO (CIRCLE ONE)
2. If NO, the City of Appleton Common Council hereby denies Special Use Permit #1-24 to remodel the existing storage garage into a 521 sq. ft. tavern located at 1201 North Badger Avenue, also identified as Parcel Number 31-5-2130-00 based upon the following standards and determinations: (List reason(s) why the Special Use Permit was denied)
3. If YES, the City of Appleton Common Council hereby approves Special Use Permit #1-24 to remodel the existing storage garage into a 521 sq. ft. tavern located at 1201 North Badger Avenue, also identified as

Parcel Number 31-5-2130-00, subject to the following conditions as they are related to the purpose of the City of Appleton Municipal Code and based on substantial evidence:

CONDITIONS OF APPROVAL FOR SPECIAL USE PERMIT #1-24:

- A. The applicant shall receive approval of a Liquor License from the City Clerk prior to serving alcohol on the premises.
 - B. The use shall conform to the standards established in Chapter 9, Article III, Alcoholic Beverages, of the Appleton Municipal Code.
 - C. The site shall be kept free of litter and debris.
 - D. All Zoning, Building, Fire, Engineering, Utility and other Municipal Codes (Article IV. Noise) and all applicable State and Federal laws shall be complied with, including but not limited to the following:
 - 1) Section 23-172(m) and (e)(2) a total of 10 parking spaces are required to be striped on site (1 space per 250 square feet of gross floor area) for multiple uses occupying one building, plus the second floor apartment, prior to issuance of an occupancy permit.
 - E. The serving and consumption of alcohol is limited to the interior tenant space, as identified on the attached development plan and floor plan drawings. Any future expansions for the serving and/or consumption of alcohol may require a major or minor amendment request to this Special Use Permit, pursuant to Section 23-66(g) of the Municipal Code.
 - F. Any expansions of the special use, changes to the development plan(s), plan of operation or any conditions of approval may require a major or minor amendment request to this Special Use Permit pursuant to Section 23-66(g) of the Zoning Ordinance. Contact the Community and Economic Development Department to discuss any proposed changes.
4. The City Clerk’s Office is hereby directed to give a copy of this resolution to the owner/applicant, Community and Economic Development Department, Inspections Division, and any other interested party.

Adopted this _____ day of _____, 2024.

Jacob A. Woodford, Mayor

ATTEST:

Kami Lynch, City Clerk

PLAN OF OPERATION AND LOCATIONAL INFORMATION

Business Information:

Name of business: SK Gas Mart LLC

Years in operation: 2

(Check applicable proposed business activity(s) proposed for the premises)

- Restaurant
- Tavern/Night Club/Wine Bar
- Painting/Craft Studio
- Microbrewery/Brewpub (manufacturing a total of not more than 310,000 U.S. gallons of fermented malt beverages per calendar year)
- Brewery (manufacturing a total of more than 310,000 U.S. gallons of fermented malt beverages per calendar year)
- Winery (manufacturing of wine)
- Craft-Distillery (manufacturing a total of not more than 100,000 proof gallons of intoxicating liquor per calendar year)
- Distillery (manufacturing a total of more than 100,000 proof gallons of intoxicating liquor per calendar year)
- Tasting room offering fermented malt beverages, wine or intoxicating liquor for consumption and/or retail sales on the premises where the fermented malt beverages, wine or intoxicating liquor is manufactured and/or at an off-premises location associated with premises. Tasting rooms may include food sales.
- Other _____

Detailed explanation of proposed business activities:
Add tavern to existing C-Store.

Existing gross floor area of building/tenant space, including outdoor spaces:

(square feet) 1,246

Proposed gross floor area of building/tenant space, including outdoor spaces:

(square feet) 1,246 + 521 = 1,767

Occupancy Limits:

Maximum number of persons permitted to occupy the building or tenant space as determined by the International Building Code (IBC) or the International Fire Code (IFC), whichever is more restrictive: 56 persons.

Proposed Hours of Operation for Indoor Uses:

Day	From	To
Monday thru Thursday	11am	2am
Friday	11am	2am
Saturday	11am	2am
Sunday	11am	2am

Production/Storage Information:

(Check applicable proposed business activity(s) proposed for the premises)

- Current production of fermented malt beverages: _____ U.S. gallons per year
- Proposed production of fermented malt beverages: _____ U.S. gallons per year
- Current production of wine: _____ U.S. gallons per year
- Proposed production of wine: _____ U.S. gallons per year
- Current production of intoxicating liquor: _____ proof gallons per year
- Proposed production of intoxicating liquor: _____ proof gallons per year
- None. If none, leave the following two storage questions blank.

Identify location of grains and/or juice, grapes, other fruits or other agricultural product storage and type of storage container(s) used:

Identify the storage location of spent grains and/or grapes, other fruits or other agricultural products and type of storage container(s) used:

Outdoor Space Uses:

(Check applicable outdoor space uses)

- Patio
- Deck
- Sidewalk Café
- Other _____.
- None. If none, leave the following questions in this section blank.

Size: _____ square feet

Type of materials used and height of material to enclose the perimeter of the outdoor space:

- Fencing Landscaping Other _____ Height _____ feet

Is there any alcohol consumption incorporated within the outdoor facility? Yes ___ No ___

If yes, please describe:

Are there plans for outdoor music/entertainment? Yes ___ No ___

If yes, describe how the noise will be controlled:

Is there any food service incorporated in this outdoor facility proposal? Yes ___ No ___

Proposed Hours of Operation for Outdoor Space:

Day	From	To
Monday thru Thursday		
Friday		
Saturday		
Sunday		

NOTE: Hours of Operation for Outdoor Uses (Sidewalk Café with Alcohol):

*******Municipal Code Section 9-262(b)(4): The permit holder can begin serving alcoholic beverages in the sidewalk café at 4:00 p.m. Monday through Friday and 11:00 a.m. on Saturday and Sunday. All alcoholic beverages must be removed from the sidewalk café by 9:30 p.m.**

Describe Any Potential Noise Emanating From the Proposed Use:

Describe the noise levels anticipated from all equipment or other mechanical sources:
None.

Describe how the crowd noise will be controlled inside and outside the building:
Limit number of Occupants

Off-Street Parking:

Number of spaces existing on-site: 11

Number of spaces proposed on-site: 11

Street Access:

Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?
Adequate.

Other Licensed Premises:

The number of licensed premises within the immediate geographic area of the proposed location will be considered in order to avoid an undue concentration that may have the potential of creating public safety problems or deterring neighborhood development.

List nearby licensed premises:
Unknown

Number of Employees:

Number of existing employees: 2

Number of proposed employees: 4

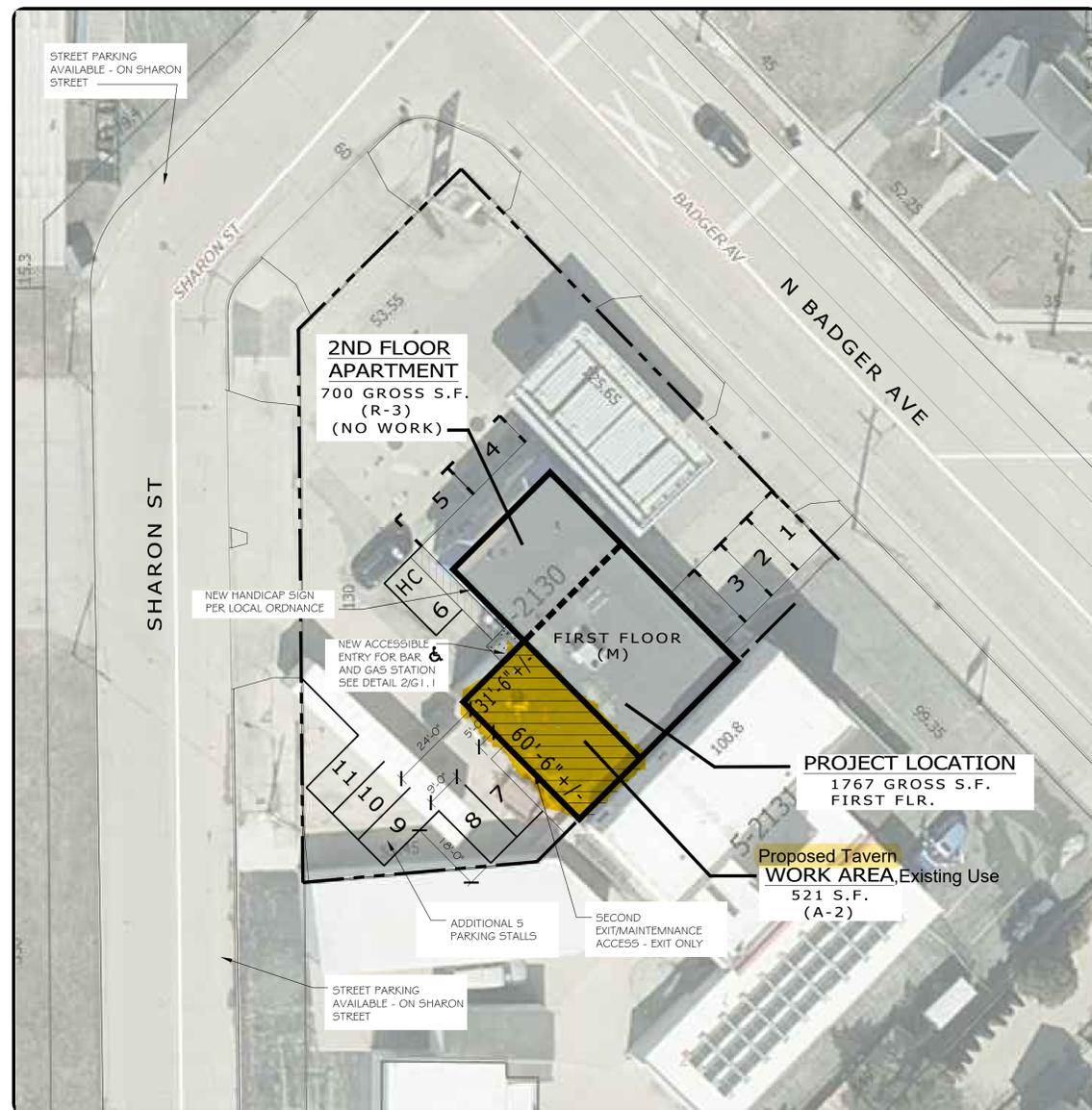
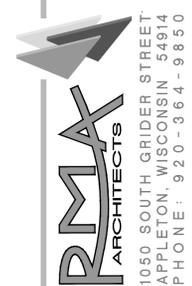
Number of employees scheduled to work on the largest shift: 4

PROPOSED PROJECT FOR:

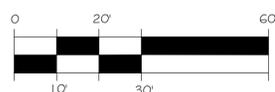
1201 N. BADGER AVENUE

FIRST FLOOR – BAR-REMODEL
APPLETON, WI 54914

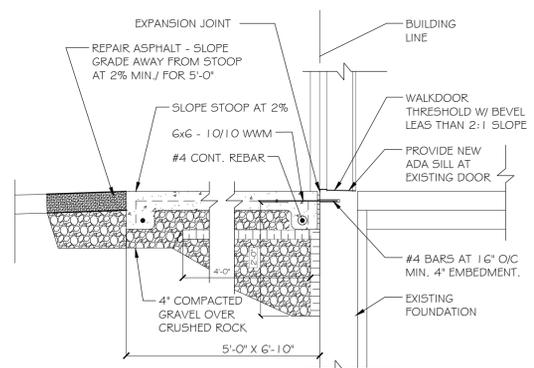
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SITE PLAN
SCALE: 1" = 20'-0"
G1.1



SHEET INDEX		STAMPS	
GENERAL/ARCHITECTURAL		STAMPS	
RMA ARCHITECTS, INC. 1050 SOUTH GRIDER STREET APPLETON, WISCONSIN 54914 P: (920) 364-9850 F: (920) 996-6865		<p>Timothy F. Maertz Architect - A7776-005 Expires 07-31-24</p> <p>Signed 3-21-2024</p>	
G1.1	TITLE, SHEET INDEX, SITE PLAN		
G1.2	GENERAL INFORMATION SHEET		
A2.1	FLOOR PLAN, WALL TYPES AND DETAILS		
A2.2	ROOM AND DOOR SCHEDULES, ENLARGED TOILET PLAN AND ELEVATIONS		
A2.3	ENLARGED BAR PLAN AND CASEWORK ELEVATIONS		
A3.1	ELEVATION PHOTOS - FOR REFERENCE		
BUILDING / CODE INFO		SCOPE OF WORK	
<ul style="list-style-type: none"> CODE / LICENSING: IBC - 2015 INTERNATIONAL BUILDING CODE IEBC - 2015 INTERNATIONAL EXISTING BUILDING CODE CITY OF APPLETON ZONING CODE - ZONED C-2 AREA: FIRST FLOOR: 1,767 S.F. ± SECOND FLOOR: 700 S.F. ± TOTAL AREA ALL FLOORS: 2,467 S.F. ± WORK AREA: 521 S.F. ± FIRST FLOOR ONLY OCCUPANCY: M/A2 - APARTMENT(S) (SECOND FLOOR) M/A2, MERCANTILE/ ASSEMBLY (FIRST FLOOR - MOBIL GAS STATION/BAR) CONSTRUCTION CLASS: EXISTING BUILDING: TYPE IIB FIRE PROTECTION: VIA TWO HOUR FIRE BARRIERS - NOT SPRINKLED. BUILDING OWNER: SK GAS MART LLC W6028 BLAZING STAR DRIVE APPLETON, WI 54915 CONTACT: SATBIR SINGH - EMAIL: skgasmart2022@yahoo.com TENANTS: APARTMENT R3 (SECOND FLOOR) + COMMERCIAL SPACE ON FIRST FLOOR - M/A2 OCCUPANCY - CHANGE IN OCCUPANCY FROM S-1 TO A-2. 		<p>CONVERT EXISTING STORAGE AREA (S-1) TO NEW BAR (A-2) VIA 2 HOUR OCCUPANCY SEPARATION FROM MOBIL STATION (M) WITH OWNER OCCUPIED (R-3) ABOVE. NO WORK IN THOSE TWO SPACES.</p> <p>CREATE NEW ADA FAMILY TOILET ROOM TO BE SHARED WITH MOBIL STATION, BOTH FAMILY TOILETS TO BE USED AND COUNTED TOWARDS THE REQUIRED TOILET FIXTURE COUNT.</p> <p>CREATE NEW ADA ACCESSIBLE ENTRY FOR BAR AND EXISTING MOBIL STATION, PROVIDE NEW STOOP SLAB AND REPAIR ASPHALT AS NEEDED TO MAINTAIN A LESS THAN 1 TO 20 SLOPE. PITCH AWAY FROM DOOR.</p> <p>ALL MEP WORK BY OTHERS.</p> <p>NO ZONING OR SITE WORK BEYOND THE NEW STOOP SLAB AND ASPHALT RESTORATION.</p> <p>OWNER TO CONTACT THE CITY OF APPLETON HEALTH DEPARTMENT TO CONFIRM ALL REQUIREMENTS FOR THE BAR SPACE, NOT PART OF THIS WORK.</p> <p>NOTE: SCALE WILL BE HALF IF PRINTED 11X17</p>	



STOOP DETAIL
SCALE: NTS
G1.1



LOCATION MAP
CONSTRUCTION DOCUMENTS

PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

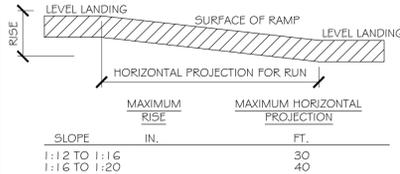
DRAWN BY
TFM
CHECKED BY
TFM

DATE
02/23/24

PROJECT NO.
245005

G1.1

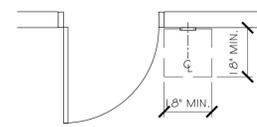
ABBREVIATION KEY											
A.B.	ANCHOR BOLT	DEMO.	DEMOLITION	G	GAS	N/A	NOT APPLICABLE	S	SQ.	SQUARE	
AC.FLR.	ACCESS FLOOR	DEPR.	DEPRESSION	GA.	GAUGE	NEC	NATIONAL ELECTRICAL CODE	SS	STORM SEWER		
ACOUS.	ACOUSTICAL	DEPT.	DEPARTMENT	GALV.	GALVANIZED	NIC	NOT IN CONTRACT	ST.	STAINLESS		
ADA	AMERICANS WITH DISABILITIES ACT	Dtls.	DETAILS	GB	GRAB BAR	NO.	NUMBER	ST.	STREET		
ADD.	ADDENDUM	DF	DRINKING FOUNTAIN	GBC	GENERAL BUILDING	NOM.	NOMINAL	STD.	STANDARD		
ADDL.	ADDITIONAL	DIA.	DIAMETER	CONTRACTOR	CONTRACTOR	NRC	NOISE REDUCTION	STL.	STEEL		
ADJ.	ADJUSTABLE	DIAG.	DIAGONAL	GEN.	GENERAL	COEFFICIENT	COEFFICIENT	STOR.	STORAGE		
ADJ.	ADJACENT	DIFF.	DIFFUSER	GENER.	GENERATOR	NTS	NOT TO SCALE	STRUCT.	STRUCTURAL		
ADMN.	ADMINISTRATION	GL.	GLASS					STWD.	SOFTWOOD		
A.F.F.	ABOVE FINISHED FLOOR	GR.	GRADE					SUPV.	SUPERVISOR		
AHU	AIR HANDLING UNIT	GYP.	GYPSTUM	O.C.C.	ON CENTER			SUSP.	SUSPENDED		
ALT.	ALTERNATE	OUTSIDE DIAMETER		OFFICE	OFFICE			SW.	SWITCH		
ALUM.	ALUMINUM	OH.	OVERHEAD								
AMEND.	AMENDMENT	OPFR.	OPERATOR								
ANNUN.	ANNUNCIATOR	OPNG.	OPENING					T	TOILET		
AP	ACCESS PANEL	OPNG.	OPENING					T.	TREAD		
APPROX.	APPROXIMATE	OPP.	OPPOSITE					TAN.	TANGENT		
ARCH.	ARCHITECTURAL	ORD	OVERFLOW ROOF DRAIN					TC	TIME CLOCK		
ATC	ACOUSTICAL TILE CEILING	TEL.	TELEPHONE					TEL.	TELEPHONE		
AUTO.	AUTOMATIC	TEMP.	TEMPERED					TEMP.	TEMPERATURE		
		TEMP.	TEMPERATURE					TEMP.	TEMPERATURE		
		TERR.	TERRAZZO					TERR.	TERRAZZO		
		T&G	TONGUE AND GROOVE					T&G	TONGUE AND GROOVE		
B	BUL.	BD.	BULLETIN BOARD	EA	EXHAUST-AIR	HVAC	HEATING VENTILATING	PD	PENCIL DRAWER	THRES.	THRESHOLD
BD.	BOARD	EA.	EACH	HDCP.	HANDICAP	OPP.	OPPOSITE	TAN.	TANGENT		
BG	BUMPER GUARD	EC	ELECTRICAL CABINET	HW	HOT WATER	PL.	PLATE	TRANS.	TRANSFORMER		
BIT	BITUMINOUS	EF	EXHAUST FAN					TS	TUBE STEEL		
BKT.	BRACKET	EL.	ELEVATOR	I	I.D.	INSIDE DIAMETER	PLAS.	PLASTER	TV	TELEVISION	
BLDG.	BUILDING	ELEC.	ELECTRICAL	I	I.D.	INSIDE DIAMETER	PLAS.	PLASTER	TYP.	TYPICAL	
BLKG.	BLOCKING	ELEV.	ELEVATION	IN.	INCH		PLUMB.	PLUMBING			
BM.	BEAM	EMERG.	EMERGENCY	INSUL.	INSULATION		PLWD.	PLYWOOD			
BOT.	BOTTOM	ENCL.	ENCLOSURE	INT.	INTERIOR		PNL.	PANEL	UC	UNDERCUT	
BRG.	BEARING	ENTR.	ENTRANCE	ISO.	ISOLATION		PR.	PAIR	UCR	UNDERCOUNTER	
BSMT.	BASEMENT	EO	ELECTRICAL OUTLET				PRELIM.	PRELIMINARY	REFRIG.	REFRIGERATOR	
BUL.	BULLETIN	EP	ELECTRIC PANEL				PRV.	POWER ROOF VENTILATOR	UL	UNDERWRITER	
		EQ.	EQUAL	J	JAN.	JANITOR	PTN.	PARTITION	LABOR.	LABORATORIES	
		EQUIP.	EQUIPMENT	JB	JUNCTION BOX		PVC	POLYVINYL CHLORIDE	UNFIN.	UNFINISHED	
C	CAB.	EWC.	ELECTRIC WATER COOLER	JST.	JOIST			UNO	UNLESS NOTED		
CCTV	CLOSED CIRCUIT TELEVISION	EX.	EXISTING	JT.	JOINT				OTHERWISE		
CD	COILING DOOR	EXC.	EXCAVATE				Q	QT.	QUARRY TILE	UR.	URINAL
CEIL.	CEILING	EXH.	EXHAUST						UTIL.	UTILITY	
CG	CORNER GUARD	EXIST.	EXISTING	K	KNOCK OUT						
CH	COAT HOOK	EXP.	EXPANSION	KS	KNEE SPACE		R	R.	RADIUS		
C.J.	CONSTRUCTION JOINT	EXT.	EXTERIOR	KW	KILOWATT		R.	RISER	V	V	V
CLG.	CEILING						RA	RETURN-AIR	VCT	VINYL COMPOSITION TILE	
CLR.	CLEAR						RD	ROOF DRAIN	VENT.	VENTILATION	
CM	CONSTRUCTION MANAGER	F	FIRE ALARM	L	LAVATORY	REBAR.	REINFORCED ROD	VERT.	VERTICAL		
CMU	CONCRETE MASONRY UNIT	FB	FIRE BLANKET	LAM.	LAMINATE	REC.	RECESSED	VEST.	VESTIBULE		
CO	CLEAN-OUT	FD	FIRE DAMPER	LAV.	LAVATORY	REF.	REFERENCE	VNL.	VINYL		
COL	COLUMN	FD	FLOOR DRAIN	LB.	POUND	REFRIG.	REFRIGERATOR	VTR.	VENT THROUGH ROOF		
COMB.	COMBINATION	FDN.	FOUNDATION	LIN.	LINEAR	REINF.	REINFORCING	VWC	VINYL WALL COVERING		
CONC.	CONCRETE	FE	FIRE EXTINGUISHER	LKR.	LOCKER	REQD.	REQUIRED				
CONF.	CONFERENCE	FEC	FIRE EXTINGUISHER CAB.	LL	LEAD LINED	RET.	RETAINING				
CONN.	CONNECTION	FH	FIRE HOSE	LLH	LONG LEG HORIZONTAL	REV.	REVISION	W/W.	WIDE		
CONST.	CONSTRUCTION	FHC	FIRE HOSE CABINET	LLV	LONG LEG VERTICAL	RH	ROOF HATCH	W/	WITH		
CONT.	CONTINUOUS	FIN.	FINISH	LP	LIGHT POLE	RM.	ROOM	W/O	WITHOUT		
CONTR.	CONTRACTOR	FIXT.	FIXTURE	LVR.	LOUVER	RO	ROUGH OPENING	WC	WATER CLOSET		
COORD.	COORDINATE	FLR.	FLOOR	R4S	ROD AND SHELF	WD.	WOOD	WD.	WOOD		
CORR.	CORRIDOR	FLASH.	FLASHING			WDW.	WINDOW				
CPT.	CARPET	FLEX.	FLEXIBLE	M	MANUAL			WF	WIDE FLANGE		
CT	CERAMIC TILE	FLG.	FLANGE	MATL.	MATERIAL	S.	SINK	WGT.	WEIGHT		
CTR.	CENTER	FLUOR.	FLUORESCENT	MAX.	MAXIMUM	SCHED	SCHEDULE	W.H.	WATER HEATER		
CTSK.	COUNTERSINK	FM	FACTORY MUTUAL	MECH.	MECHANICAL	SD	SMOKE DAMPER	WHCR.	WHEEL CHAIR		
CUH	CABINET UNIT HEATER	FP	FIREPROOF	MEMB.	MEMBRANE	SECT.	SECTION	WP	WATERPROOF		
CW	COLD WATER	FRMG.	FRAMING	MTL.	METAL	SF	SQUARE FOOT/FEET	WS	WEATHERSTRIP		
CYL.	CYLINDER	FS	FLOOR SINK	MEZZ.	MEZZANINE	SH.	SHelf	WSCT.	WAINSCOAT		
		FT.	FOOT/FEET	MFG.	MANUFACTURING	SHR.	SHOWER	W.W.F.	WELDED WIRE MESH		
		FTG.	FOOTING	MFR.	MANUFACTURER	SHT.	SHEET				
		FTN.	FOUNTAIN	MH	MANHOLE	SHTG.	SHEATHING				
		FUT.	FUTURE	MIN.	MINIMUM	SIM.	SIMILAR	X	XFMR	TRANSFORMER	
		MIR.	MIRROR	MISC.	MISCELLANEOUS	SPEC.	SPECIFICATION	Y	YD.	YARD	
		M.O.	MASONRY OPENING								
		MTD.	MOUNTED								



ACCESSIBLE ROUTE / RAMPS

4.8.1.1 GENERAL
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8.

4.8.2 SLOPE AND RISE
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN. CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.



SIGN MOUNTING LOCATION

ICC/ANSI A 117.1, 703.2.7. MOUNTING HEIGHT. CHARACTERS SHALL BE 48 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE ADJACENT FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE CHARACTERS.
EXCEPTION: ELEVATOR CAR CONTROLS.

ICC/ANSI A 117.1, 703.2.8. MOUNTING LOCATION. WHERE A SIGN CONTAINING TACTILE CHARACTERS IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONG SIDE THE DOOR ON THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.
SIGNS CONTAINING TACTILE CHARACTERS SHALL HAVE AN 18" X 18" MINIMUM SPACE ON THE FLOOR OR GROUND, CENTERED ON THE SIGN, BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED AND 45° OPEN POSITION.
EXCEPTION: DOOR-MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

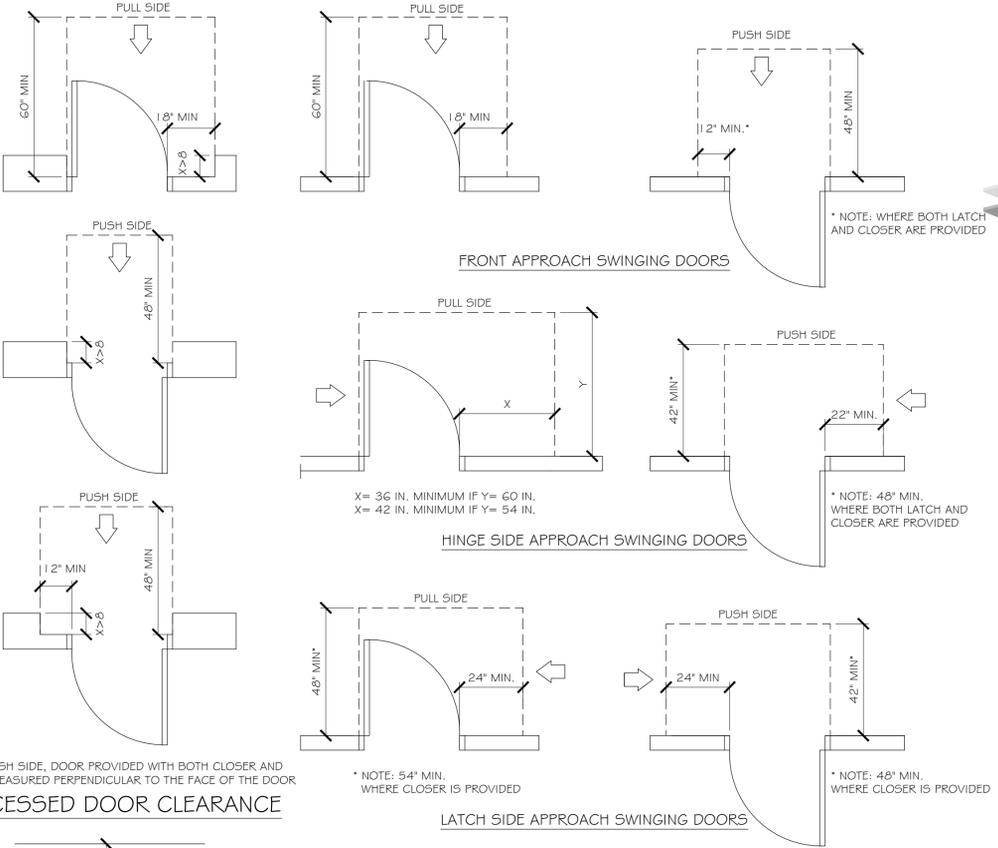
DOOR HARDWARE HEIGHT

IBC 1008.1.8.2. HARDWARE HEIGHT.
DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
AREAS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.

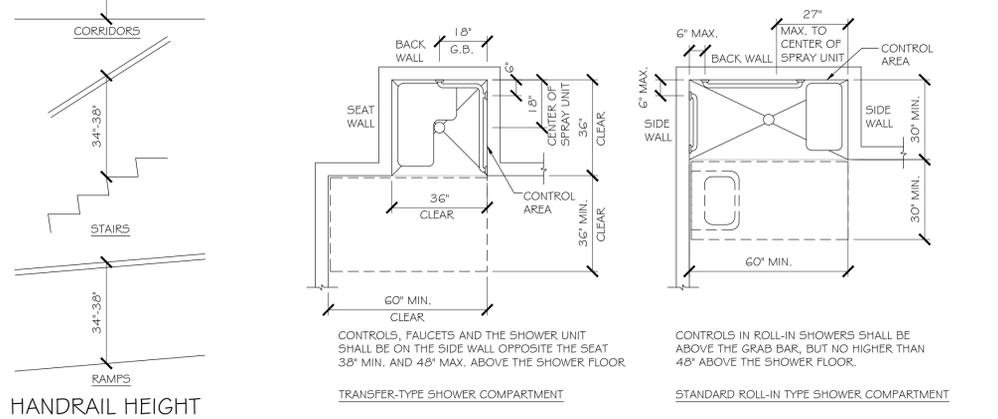
MINIMUM CEILING HEIGHTS

IBC 1209.2 MINIMUM CEILING HEIGHTS.
OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.
EXCEPTION: IF ANY ROOM IN A BUILDING HAD A SLOPED CEILING, THE PRESCRIBED CEILING HEIGHT FOR THE ROOM IS REQUIRED IN ONE-HALF THE AREA THEREOF. ANY PORTION OF THE ROOM MEASURING LESS THAN 5 FEET FROM THE FINISHED FLOOR TO THE CEILING SHALL NOT BE INCLUDED IN ANY COMPUTATION OF THE MINIMUM AREA THEREOF.

IBC 1208.2.1 FURRED CEILING.
ANY ROOM WITH A FURRED CEILING SHALL BE REQUIRED TO HAVE THE MINIMUM CEILING HEIGHT IN TWO-THIRDS OF THE AREA THEREOF, BUT IN NO CASE SHALL THE HEIGHT OF THE FURRED CEILING BE LESS THAN 7 FEET.



RECESSED DOOR CLEARANCE



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RMA ARCHITECTS

1050 SOUTH GRIDER STREET
APPLETON, WISCONSIN 54914
PHONE: 920-364-9850

PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

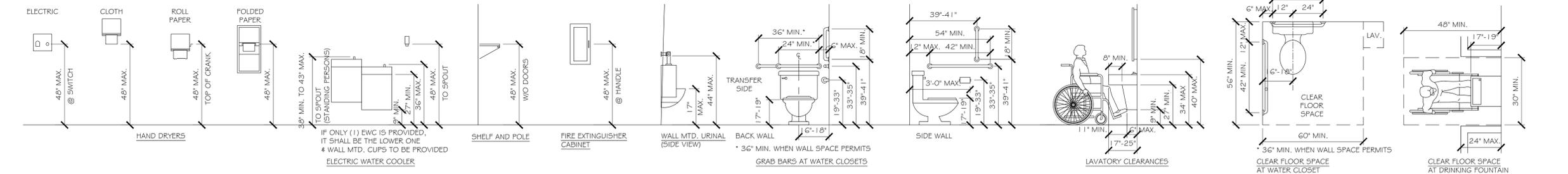
DRAWN BY
TFM/SDN
CHECKED BY
TFM

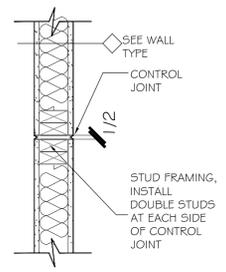
DATE
02/23/24

PROJECT NO.
245005

G1.2

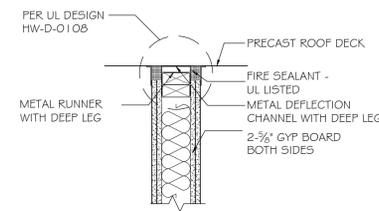
TOILET AND BUILDING ACCESSORY MOUNTING HEIGHTS AND CLEARANCES





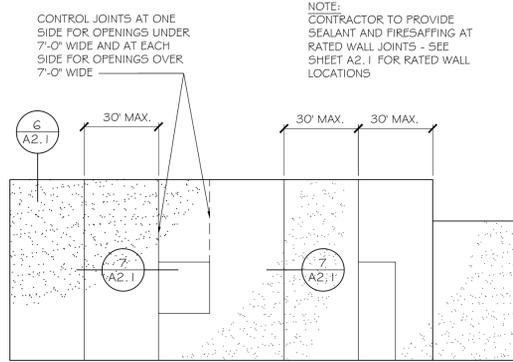
TYPICAL GYP. BD. CONTROL JOINTS

SCALE: N.T.S. 7 A2.1



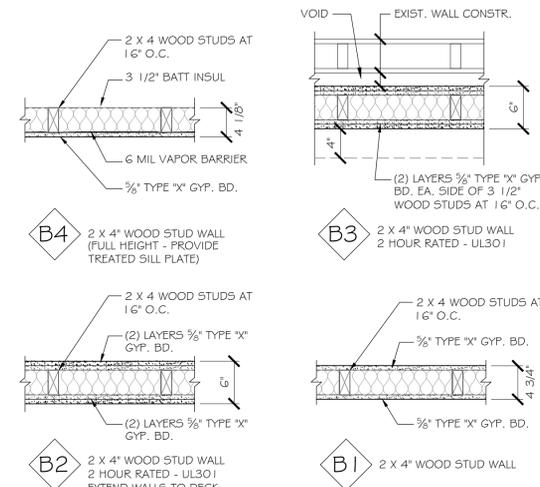
WALL TO DECK AT RATED WALL LOCATIONS

SCALE: N.T.S. 6 A2.1



TYP. GYP. BD. CONTROL JOINTS

SCALE: N.T.S. 5 A2.1



WALL TYPES

SCALE: 1\"/>

GENERAL NOTES

INSURE UPDATED FIRE SAFETY AND EVACUATION PLANS ARE IN PLACE AT TIME OF CERTIFICATE OF OCCUPANCY. (IFC 404.2)

ALL EMPLOYEES SHALL BE TRAINED IN THE FIRE EMERGENCY PROCEDURES AT TIME OF OCCUPANCY. (IFC 406)

ADDRESS TO BE POSTED AT FRONT AND REAR EGRESS DOORS.

ALL ROOMS CONTAINING FIRE PROTECTION EQUIPMENT SHALL BE CLEARLY LABELED. (IFC 510.1)

PLAN NOTES

- ALIGN NEW WALL WITH EXISTING CONSTRUCTION
- PROVIDE (2) LAYERS 5/8\"/>
- PROVIDE VINYL COATED ACOUSTIC CEILING IN THIS ROOM AT 8'-6\"/>
- SITE CLEAR EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW 2 HOUR RATED DOOR AND FRAME
- SITE CLEAR EXISTING ASPHALT PAVING. PROVIDE NEW 4\"/>
- PATCH EXISTING ASPHALT INTO NEW CONCRETE SLAB WITH A SMOOTH TRANSITION
- EXHAUST FAN
- REMOVE EXISTING CEILING MOUNTED UNIT HEATER. NEW HEATER BY OTHERS

** GC PATCH EXISTING CONSTRUCTION AS REQUIRED



REFERENCE PHOTO

SCALE: NO SCALE 3 A2.1



REFERENCE PHOTO

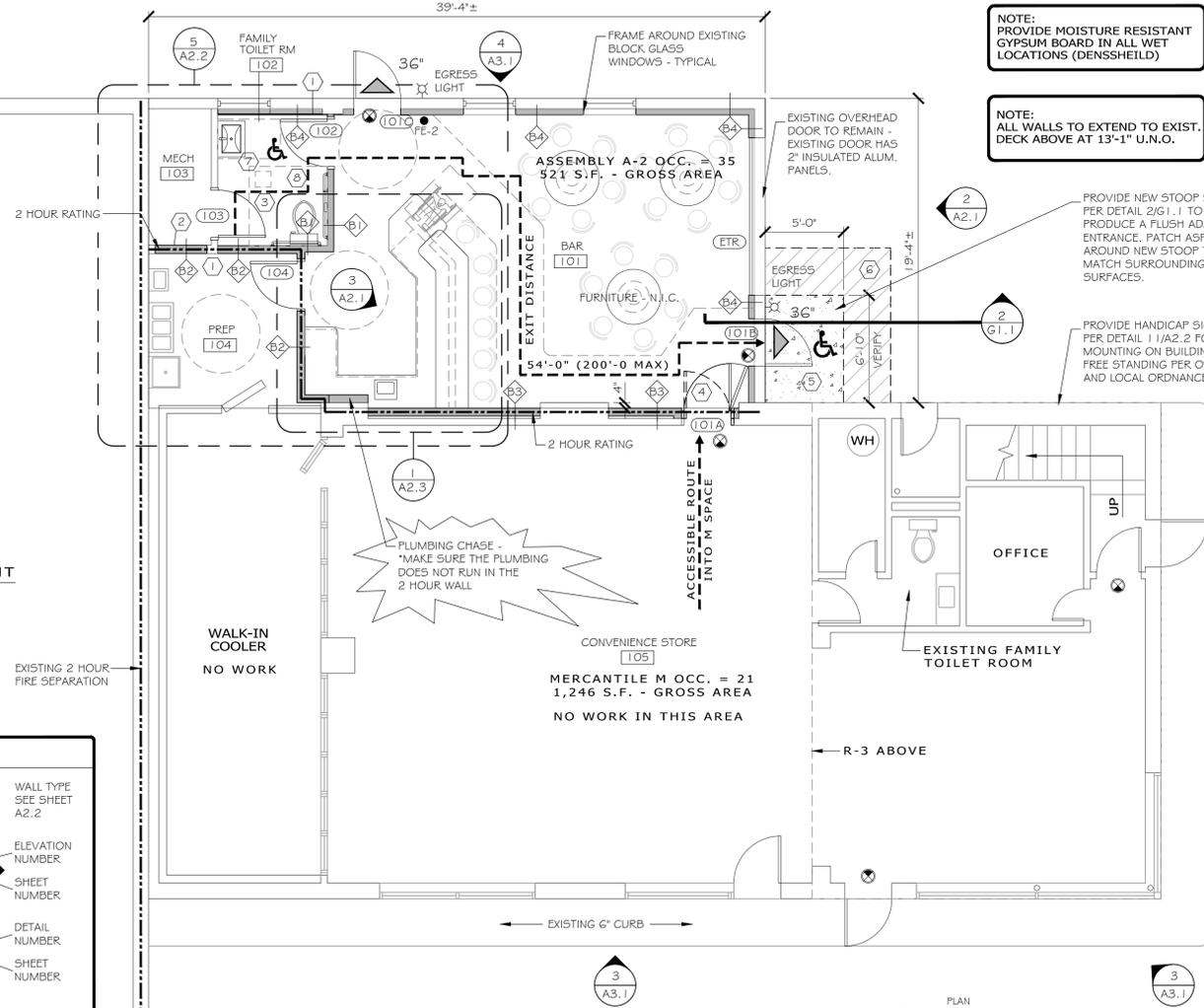
SCALE: NO SCALE 2 A2.1

KEY

- 2 HR RATED FIRE BARRIER
- 1 HR RATED FIRE BARRIER
- x-x" EXIT ACCESS TRAVEL DISTANCE
- x" EGRESS WIDTH
- FE-2 FIRE EXTINGUISHER
- X EXIT LIGHT (EXISTING)
- X EXIT LIGHT
- X EGRESS LIGHT
- ♿ ACCESSIBLE

PLAN LEGEND

- EXISTING WALL
- EXISTING WALL TO BE SITE CLEARED
- NEW WALL CONSTRUCTION SEE WALL TYPES SHEET A2.2
- X PLAN NOTE REFERENCE
- XXX DOOR ID NUMBER SEE DOOR SCHED. A7.1
- NAME ROOM ID AND NUMBER
- EX WALL TYPE SEE SHEET A2.2
- X ELEVATION NUMBER
- AX SHEET NUMBER
- X DETAIL NUMBER
- AX SHEET NUMBER



FIRST FLOOR / CODE PLAN

SCALE: 3/16\"/>

NOTE: PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET LOCATIONS (DENS-SHEILD)

NOTE: ALL WALLS TO EXTEND TO EXIST. DECK ABOVE AT 13'-1\"/>

PROVIDE NEW STOOP SLAB PER DETAIL 2/G1.1 TO PRODUCE A FLUSH ADA ENTRANCE. PATCH ASPHALT AROUND NEW STOOP TO MATCH SURROUNDING SURFACES.

PROVIDE HANDICAP SIGN PER DETAIL 1/A2.2 FOR MOUNTING ON BUILDING OR FREE STANDING PER OWNER AND LOCAL ORDINANCE.

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DRAWN BY
TFM/SDN
CHECKED BY
TFM

DATE
02/23/24

PROJECT NO.
245005

A2.1

INSTALLATION INSTRUCTIONS

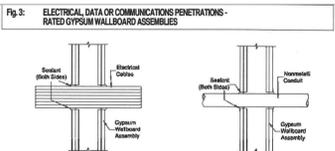
General: Areas to be protected must be clean and free of oil, loose dirt, rust or scale. Installation temperatures must be between 35°F and 100°F (2°C and 38°C). Allow product to dry a minimum of 24 hours before exposure to moisture.

System Selection: Selection of an appropriate firestop system design is critical to the protection process. Space fillers provide highly detailed information pertaining to individual application systems. Please consult the STI Product & Application Guide as well as the UL® Fire Resistance Directory for additional information.

Forming: Some installations may require forming as either an integral part of the system or as an option to facilitate installation. In systems where forming is required, mineral wool bats (min. nom. 4 lbs/cu. ft. (64 kg/m³ density) are recommended. Some gypsum wallboard systems utilize fiberglass. Cut forming material over-size to allow for tight packing. Position forming material to allow for the proper depth of fill material.

Fill Material: SpecSeal® Series SSS Sealant may be installed by caulking using a standard caulking gun or from bulk containers using a bulk loading caulk gun, or by manually troweling using a mason's trowel or putty knife. If the sealant tends to pull back from a surface, clean the surface with a damp rag or sponge and reapply. Work sealant into all areas extending gaps to eliminate voids or seams. The surface of the sealant can be smoothed using a putty knife dipped in water. Adding water to the sealant itself is not recommended. Sealant (when dry) may be sanded and painted using most non-solvent based paints. In gypsum wallboard penetrations, crown sealant 1/4" (6 mm) from penetrant to wallboard surface at a point approximately 1/2" (13 mm) or more from opening. Sealant (when dry) may be painted using most non-solvent based paints.

Smoke Sealing: In some applications including firestop collars, SpecSeal® Series SSS Sealant is recommended as a smoke seal. It is suggested in those applications that the sealant be applied to both sides of walls. In floor applications, a sealing bead is suggested top and bottom.



UL SYSTEM W-L-3078
 1/2" (13 mm) Trade Size
 Steel or Iron Pipe, 2" Copper Pipe, 4" Recessed 2" Trade Size
 Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-L-2093
 1/2" (13 mm) Trade Size
 2" Rigid PVC, EMR,
 or CPVC Flow Recovery,
 1-1/2" (38 mm) Rigid PVC,
 Sealant Depth: 5/8" with 1/4" Crown



UL SYSTEM C-AJ-3154
 1/2" (13 mm) Trade Size
 1/2" (13 mm) Trade Size
 Steel or Iron Pipe, 2" Copper Pipe, 4" Recessed 2" Trade Size
 Sealant Depth: 1/2"

UL SYSTEM C-AJ-6008
 1/2" (13 mm) Trade Size
 Aluminum or Copper Bus Bar, 4000 Amp
 Steel Core Plate
 Sealant Depth: 1/2"



UL SYSTEM W-L-1049
 1/2" (13 mm) Trade Size
 Steel or Iron Pipe, 2" Copper Pipe, 4" Recessed 2" Trade Size
 Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-L-5014
 1/2" (13 mm) Trade Size
 Steel or Iron Pipe, 2" Copper Pipe, 4" Recessed 2" Trade Size
 Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-L-4051
 1/2" (13 mm) Trade Size
 1/2" (13 mm) Trade Size
 Steel or Iron Pipe, 2" Copper Pipe, 4" Recessed 2" Trade Size
 Sealant Depth: 5/8" with 3/8" Crown

Technical Service 1-800-892-1180
 STI Product Data Sheet • Series SSS Intumescent Sealant • ZDF08-5001-1577 3 of 4

TWO (2) HOUR WALL PENETRATION ASSEMBLIES

ACCESSORY SCHEDULE

KEY NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	QTY.	REMARKS
A	TOILET	ZURN	Z5562	1	
B	WALL HUNG LAVATORY	KOHLER	K-1997-4-0	1	
C	WALL HUNG LAVATORY FAUCET	DELTA	541-DST	1	
D	GRAB BARS	BOBRICK	B-60GX3G	1	1,2
E	GRAB BARS	BOBRICK	B-60GX42	1	1,2
F	GRAB BARS	BOBRICK	B-60GX18	1	1,3
G	TOILET PAPER DISPENSER	BOBRICK	B-4388	1	1,4
H	ADA SIGNAGE (SEE DETAILS A2.2)	-	-	1	4
I	WALL MOUNTED MIRROR (24"X36")	BOBRICK	B-290	1	1,5
J	SOAP DISPENSER	BOBRICK	B-2111	1	1
K	PAPER TOWEL DISPENSER	BOBRICK	252	1	1

REMARKS NOTE: VERIFY PRODUCT MANUFACTURERS & MODEL NUMBERS WITH OWNER.

- REFER TO SHEET G1.2 FOR FURTHER DESCRIPTION AND MOUNTING REQUIREMENTS.
- HORIZONTAL.
- VERTICAL.
- MOUNT CENTER OF SIGN AT 60" A.F.F.
- MOUNT BOTTOM OF REFLECTIVE SURFACE MAX 40" A.F.F.

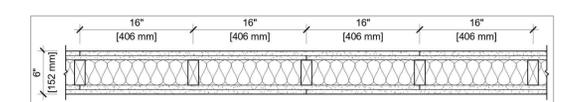
DESIGN NO. UL U301

FIRE RATING: 2 HOURS
 SOUND TEST: USG-15123
 SYSTEM THICKNESS: 4" (102 MM)
 LOCATION: INTERIOR
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)

UL U301 USG CGC

ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)
 WOOD STUDS: 2" X 4" (58 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.
 INSULATION: 3-1/2" (89 MM) FIBERGLASS INSULATION
 GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)



TWO (2) HOUR WALL ASSEMBLY - UL -U301

SCALE: NONE

ROOM FINISH SCHEDULE

ROOM TAG	ROOM NAME	FLOOR	BASE	WALLS				CEILING	NOTES		
				NORTH	EAST	WEST	SOUTH				
				S	F	S	F	S	F	TYPE / F/HGHT	
101	BAR AREA	POLISHED CONC.	VB	ETR / GYP	PAINT	GYP	PAINT	ETR / GYP	PAINT	ETR - 13'-1"	ETR PRECAST STRUCTURE
102	FAMILY TOILET	VINYL	VB	GYP	PAINT	GYP	PAINT	GYP	PAINT	ACT - 9'-0"	VINYL COATED ACT
103	MECHANICAL	ETR	ETR	GYP	PAINT	ETR	ETR	ETR	ETR	---	
104	PREP	ETR	ETR	ETR	ETR	GYP	PAINT	ETR	ETR / GYP	PAINT	---
105	CONVENIENCE STORE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	---

DOOR SCHEDULE

DOOR NUMBER	DOOR			FRAME		DETAILS			HDWR GROUP	FIRE RATING	REMARKS		
	WIDTH	HEIGHT	TYPE	MAT.	DEPTH	TYPE	MAT.	HEAD				JAMB	SILL
101A	3'-0"	7'-0"	D-1	HM	7"	F-1	HM	3/A2.2	3/A2.2	---	1	2 HR	
101B	ETR	ETR	ETR	ETR / HM	ETR	ETR	ETR	---	---	---	3		REPLACE HARDWARE WITH LEVER HANDLE. PROVIDE NEW SWEEP AND SEALS.
101C	ETR	ETR	ETR	ETR / HM	ETR	ETR	ETR	---	---	---	3		REPLACE HARDWARE WITH LEVER HANDLE. PROVIDE NEW SWEEP AND SEALS.
102	3'-0"	7'-0"	D-1	HM	5 3/4"	F-1	HM	3/A2.2	3/A2.2	---	2		
103	3'-0"	7'-0"	D-1	HM	5 3/4"	F-1	HM	SIM. 3/A2.2	SIM. 3/A2.2	---	4		
104	3'-0"	7'-0"	D-1	HM	7"	F-1	HM	4/A2.2	4/A2.2	---	1	2 HR	PROVIDE HOLD OPEN AND ALARM

HARDWARE SCHEDULE

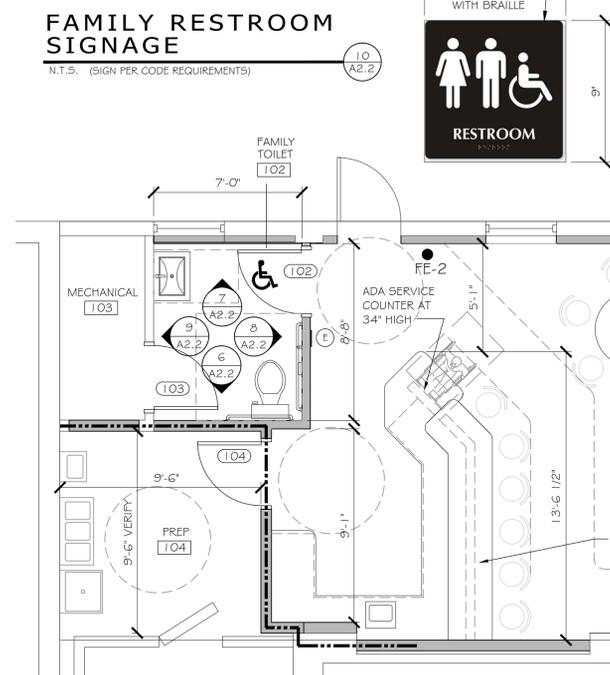
A. LOCKSETS EQUAL TO: SCHLAGE.
 B. KEYING EQUAL TO: KEY LOCKS IN SET. PROVIDE ALL LOCKSETS WITH SMALL FORMAT INTERCHANGABLE CORE.
 C. EXIT DEVICES EQUAL TO: INGERSOLL RAND VON DUPPIN - 99 SERIES.
 D. HINGES EQUAL TO: HAGER COMPANIES.
 E. STOPS & HOLDERS EQUAL TO: IVES
 F. CLOSERS EQUAL TO: LCN
 G. WEATHERSTRIPPING EQUAL TO: REESE
 H. ALL HARDWARE SHALL HAVE DULL CHROME FINISH.

GROUP	TYPE	LOCK	RIM CYLINDER	HINGES	STOP	CLOSER	EXIT DEVICE	REMARKS
1	PASSAGE	ND105 RHO	N/A	BB1279	WS407CCV	4011 CUSH	N/A	
2	PRIVACY	ND405 RHO	N/A	BB1279	WS407CCV	N/A	N/A	
3	ENTRY	ND53RD RHO	N/A	BB1279	WS407CCV	N/A	N/A	
4	STOREROOM	NDBORD RHO	N/A	BB1279	WS407CCV	N/A	N/A	



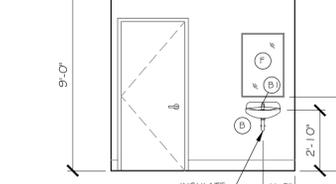
HANDICAP SIGN DETAIL

SCALE: 1/12" = 1'-0"



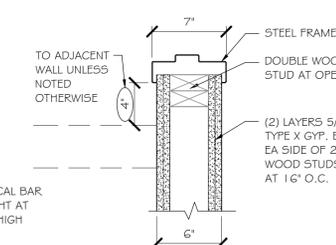
TOILET ROOM / BAR PLAN

SCALE: 1/4" = 1'-0"



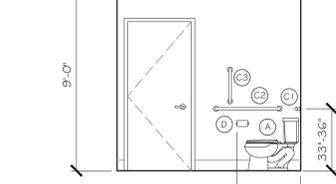
ELEVATION

SCALE: 1/4" = 1'-0"



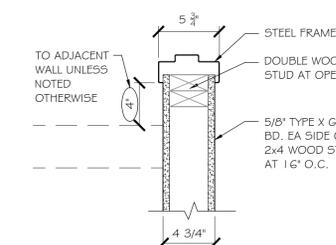
HEAD/JAMB DTL.

SCALE: 1/2" = 1'-0"



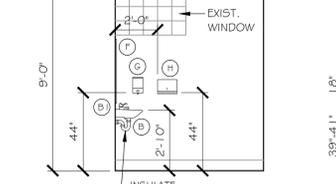
ELEVATION

SCALE: 1/4" = 1'-0"



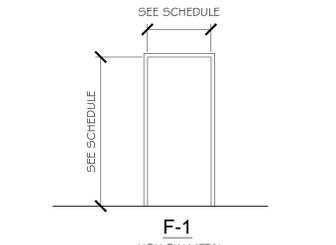
HEAD/JAMB DTL.

SCALE: 1/2" = 1'-0"



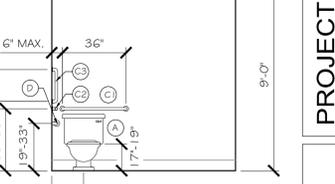
ELEVATION

SCALE: 1/4" = 1'-0"



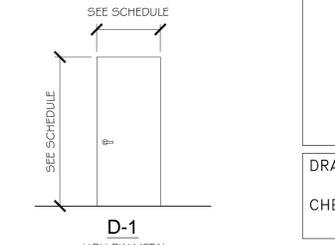
FRAME TYPES

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"



DOOR TYPES

SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS

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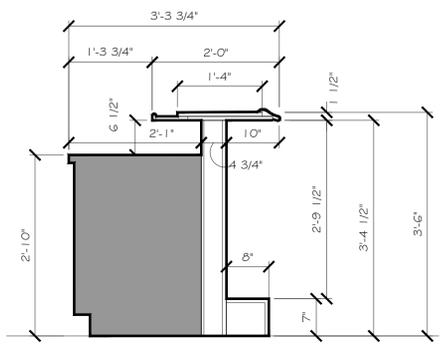
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 CHECKED BY: TFM

DATE: 02/23/24

PROJECT NO. 245005

A2.2

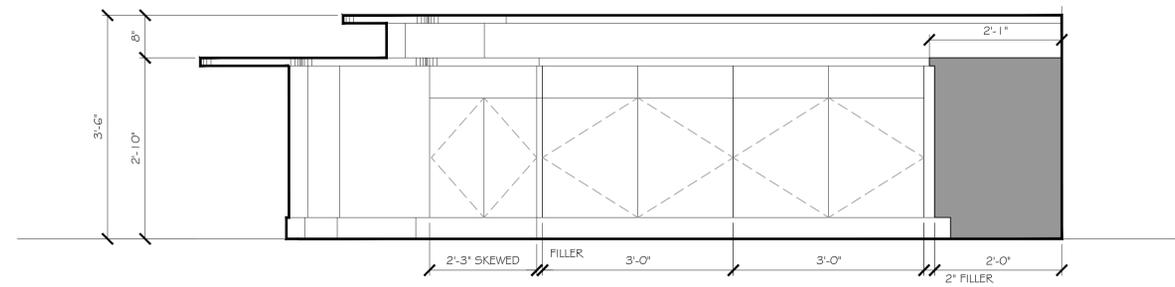
NOTE: THESE ELEVATIONS/ PLAN ARE FOR MATERIAL TAKE OFFS AND REFERENCE ONLY. THE OWNER WILL DECIDE THE MATERIALS OF THE BAR/ BACK BAR.



TYP. BAR SECTION

SCALE: 3/4" = 1'-0"

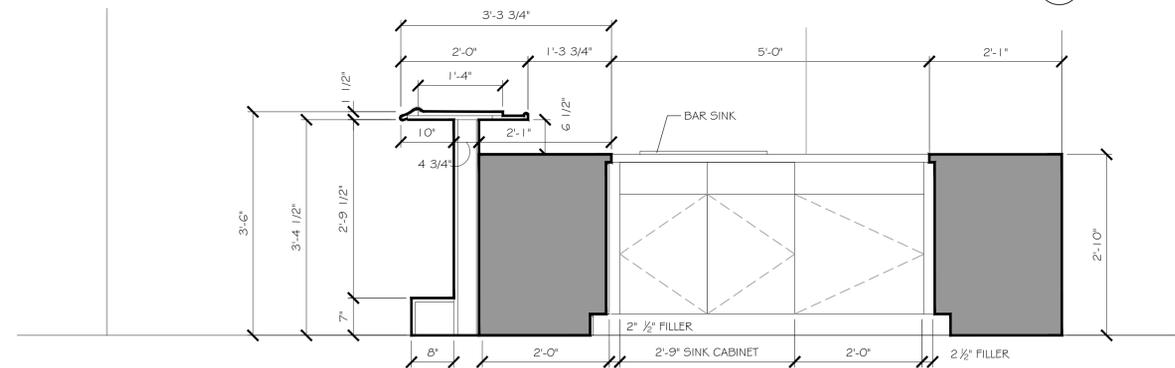
6
A2.3



BAR SECTION/ELEV.

SCALE: 3/4" = 1'-0"

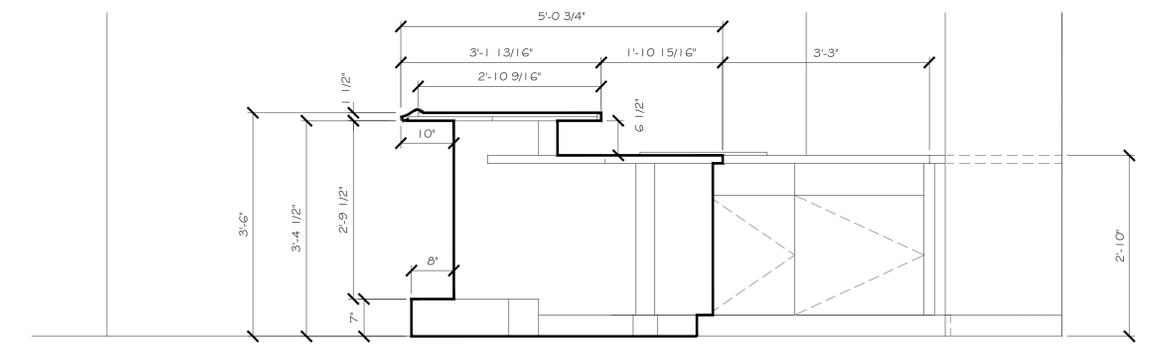
5
A2.3



BAR SECTION/ELEV.

SCALE: 3/4" = 1'-0"

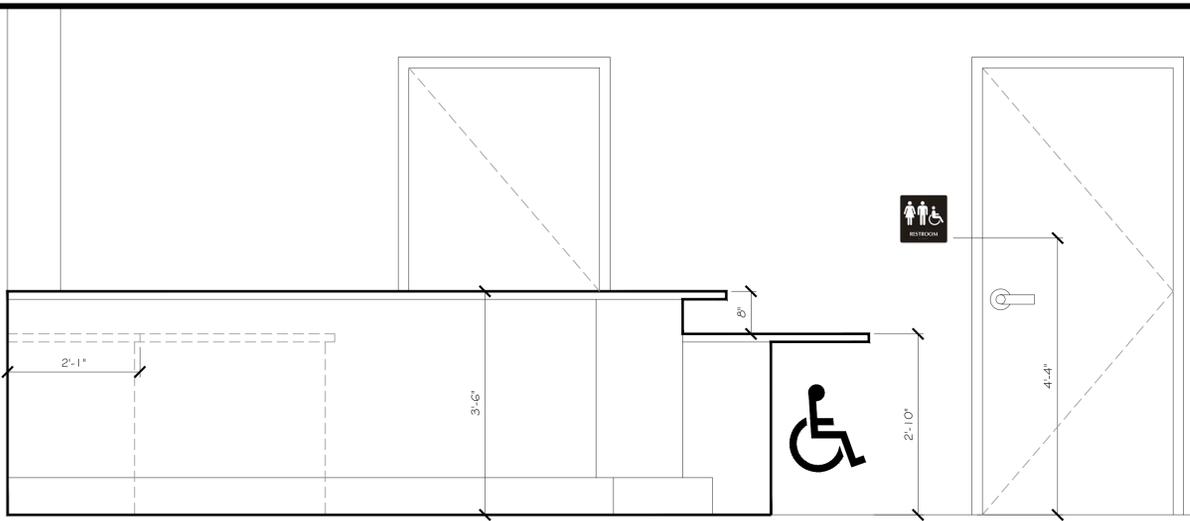
4
A2.3



SIDE BAR ELEV.

SCALE: 3/4" = 1'-0"

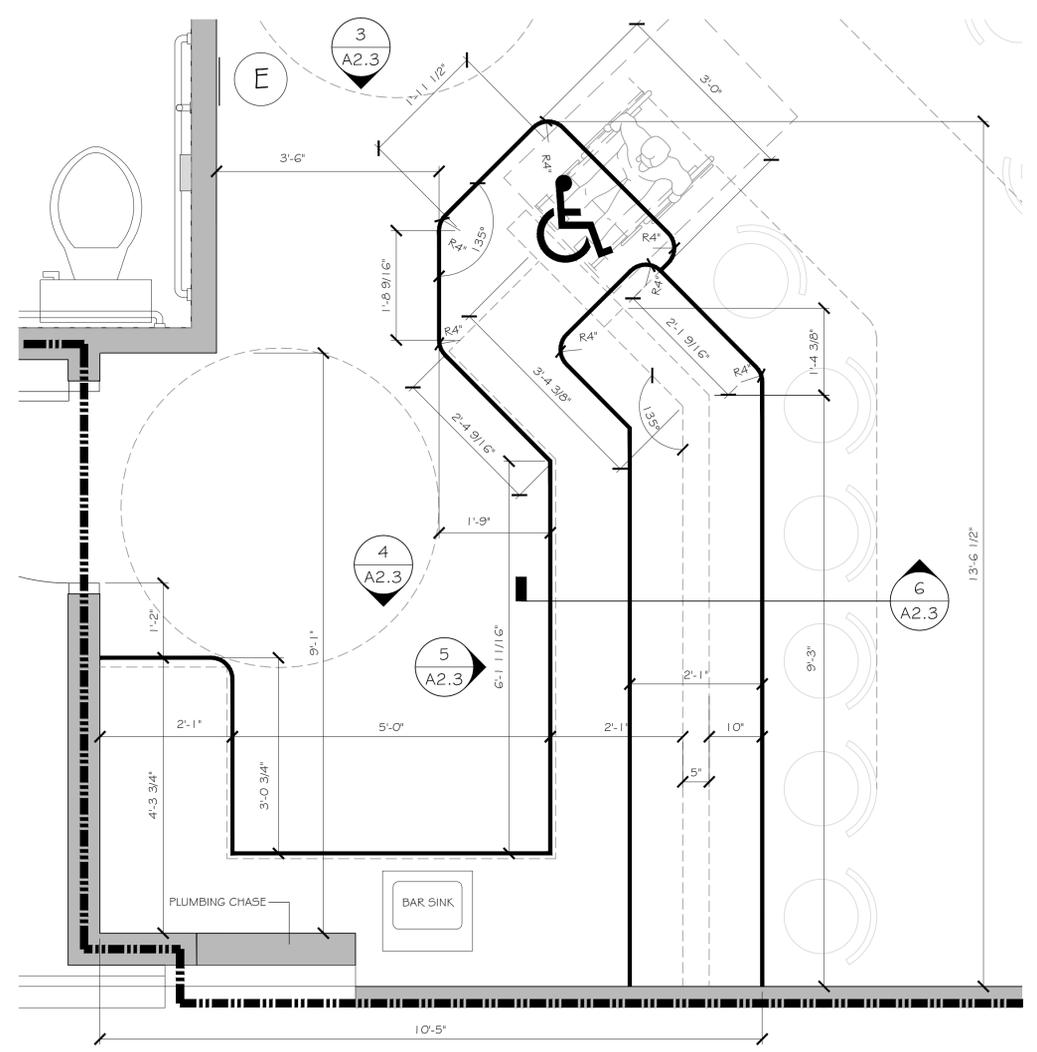
3
A2.3



FRONT OF BAR ELEVATION

SCALE: 3/4" = 1'-0"

2
A2.3



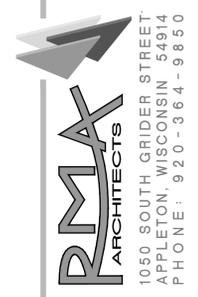
BAR PLAN

SCALE: 3/4" = 1'-0"

1
A2.3



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permission.



PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

DRAWN BY
TFM
CHECKED BY
TFM

DATE
02/23/24

PROJECT NO.
245005

A2.3

RMA ARCHITECTS, INC. 6/10/2014 8:52 AM 145022.A2.2.dwg

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RMA
ARCHITECTS
1050 SOUTH GRIDER STREET
APPLETON, WISCONSIN 54914
PHONE: 920-364-9850

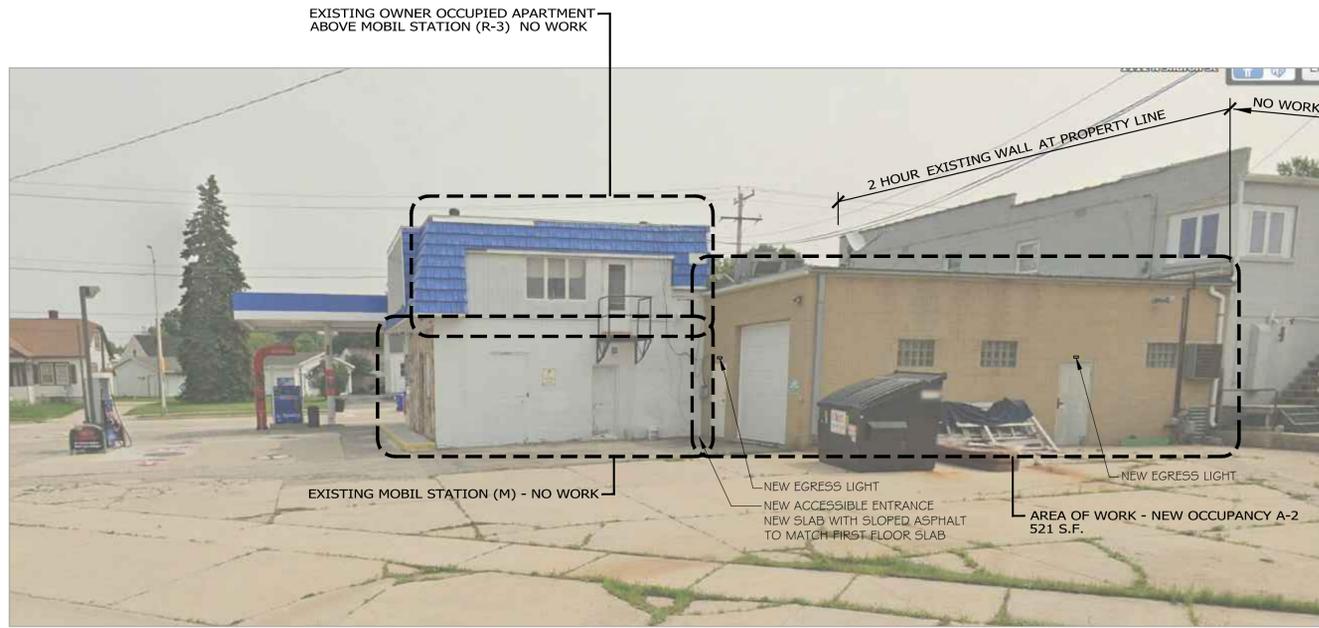
PROJECT DESCRIPTION: REMODEL FOR:
1201 N. BADGER AVE
FIRST FLOOR BAR -REMODEL
1201 N. BADGER AVE. APPLETON, WI 54914

DRAWN BY
TFM/SDN
CHECKED BY
TFM

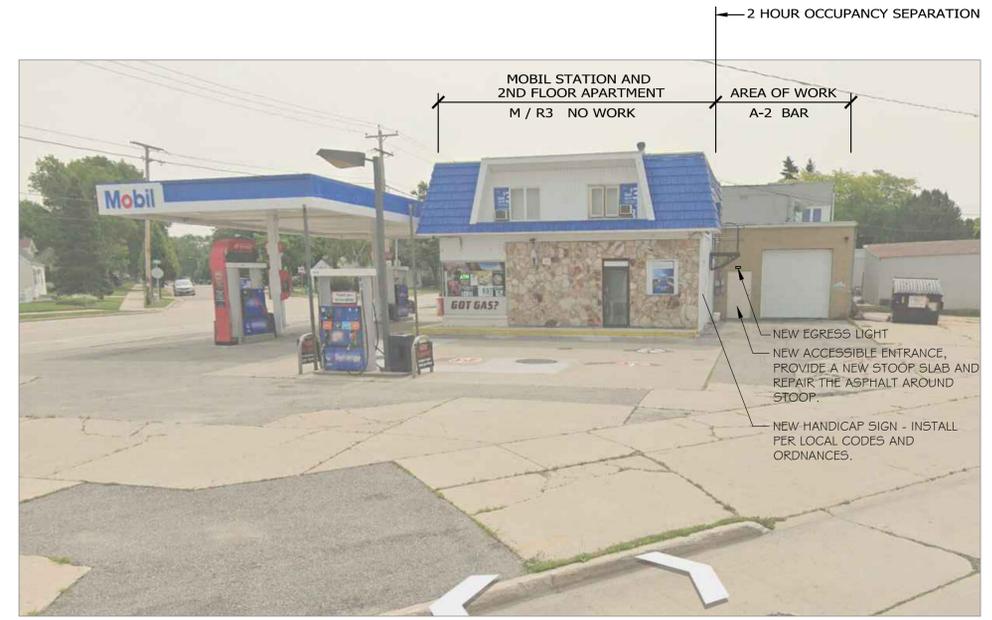
DATE
02/23/24

PROJECT NO.
245005

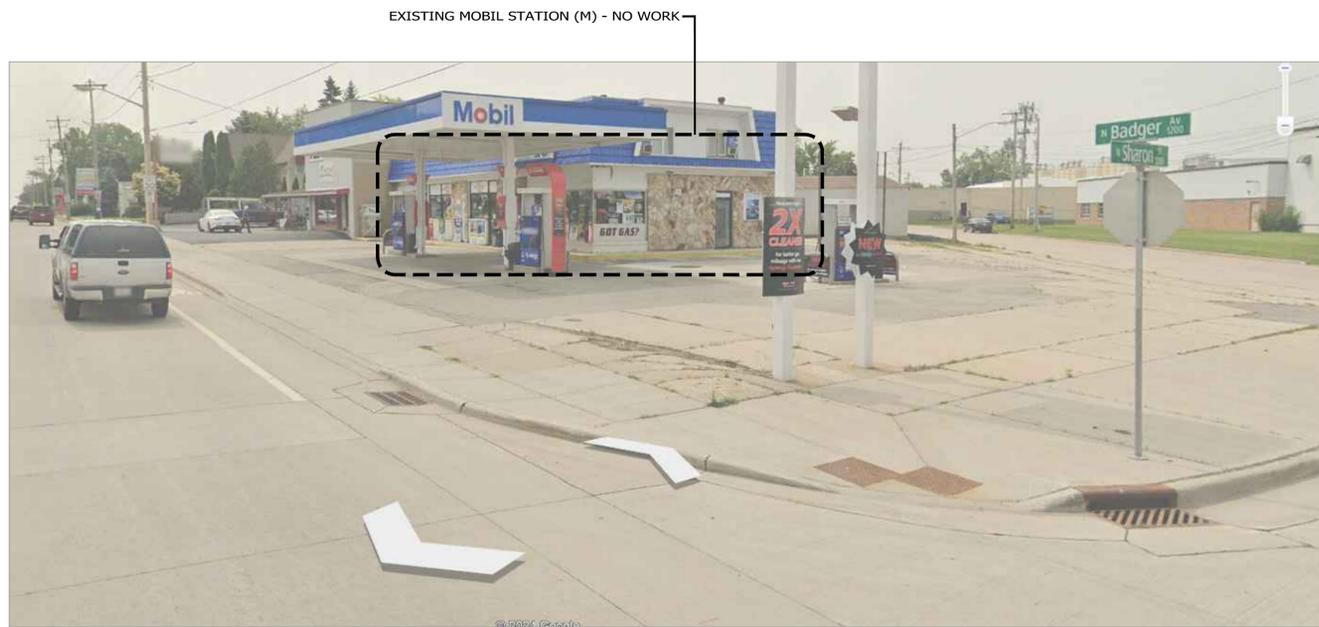
A3.1



REFERENCE PHOTO
SCALE: NO SCALE (BACK) 4 A3.1



REFERENCE PHOTO
SCALE: NO SCALE (SIDE) 2 A3.1



REFERENCE PHOTO AT BADGER AVE AND N. SHARON ST
SCALE: NO SCALE (FRONT / SIDE) 3 A3.1



REFERENCE PHOTO AT BADGER AVE
SCALE: NO SCALE (FRONT) 1 A3.1



CITY OF APPLETON

MEMORANDUM

Date: April 24, 2024
To: City Plan Commission
From: Jessica Titel, Principal Planner, Community & Economic Development
Subject: Dedication of a Public Trail Within Southpoint Commerce Park per Wis. State Statute 62.23(5)

Wis. State Statute 62.23(5) states that the location and acceptance of land to be used as a public way, park (i.e. public trail) or public grounds shall be referred to the Plan Commission for its consideration and report before final action is taken by the Common Council.

Background:

The City of Appleton Trails Master Plan (2017) proposed network map identifies a proposed trail between Plank Road and Coop Road located within Southpoint Commerce Park.

On December 20, 2023, the Common Council took action to accept the dedication of the outlots for public trail purposes within the Southpoint Commerce Park from Coop Road to Quest Drive. The dedications were associated with proposed Certified Survey Maps and the Southpoint Commerce Park Plat 4.

The attached Certified Survey Map creates an outlet for the proposed trail and dedicates the outlet for public trail purposes within Southpoint Commerce Park. The City currently owns the land within the proposed CSM. The land dedication for the public trail occurs at the time the Certified Survey Map is recorded.

Please see the attached draft Certified Survey Map and the "Proposed Trails" map from the 2017 Trails Master Plan.

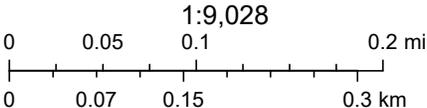
PLAN COMMISSION RECOMMENDED ACTION:

In accordance with Wis. State Statute 62.23(5), Staff recommends the acceptance of the proposed dedication of the outlet identified for public trail purposes within Southpoint Commerce Park, as shown on the attached maps and the 2017 Trails Master Plan, **BE APPROVED.**

SouthPoint Commerce Park Trail



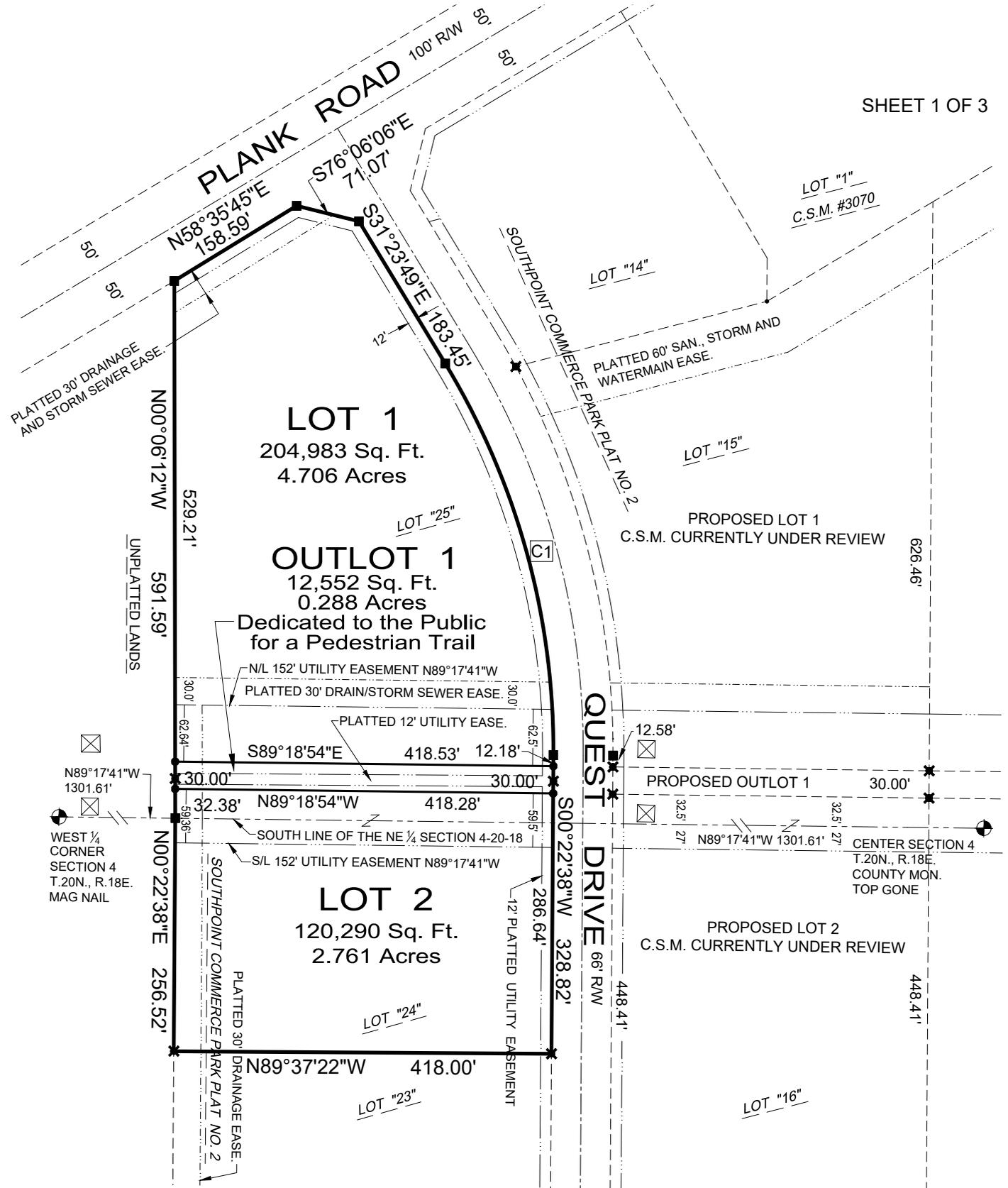
12/5/2023, 10:30:48 AM



CERTIFIED SURVEY MAP NO. _____

All of Lot 24 and 25 of Southpoint Commerce Park Plat No. 2, located in the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 4, Township 20 North, Range 18 East, City of Appleton, Calumet County, Wisconsin.

SHEET 1 OF 3



SCALE IN FEET

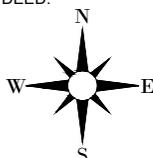


LEGEND

- = 3/4" Iron Rebar, 24" long, Weighing 1.5 lbs./ft. Set
- ✕ = 3/4" Iron Rebar Found
- = 1 1/4" Iron Rebar Found
- ⊕ = Government Corner
- () = Measurements of Record
- ⊠ = Steel Transmission Tower
- = 12' Platted Utility Easement Unless Noted Otherwise

NOTES:

1. TYPICAL BUILDING SETBACK IS 40' AT FRONT, 25' SIDE AND REAR (50' REAR YARD AND SIDE YARD IF ABUTTING A RESIDENTIALLY-ZONED DISTRICT).
2. THIS CERTIFIED SURVEY MAP DOES NOT TRANSFER INTEREST IN REAL PROPERTY. TRANSFER OF INTEREST IN REAL PROPERTY REQUIRES A DEED.



BEARINGS ARE REFERENCED TO SOUTHPOINT COMMERCE PARK NO. 2, WHICH IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, CALUMET COUNTY.

CURVE DATA TABLE

CURVE	RADIUS	LENGTH	LC	LCB
C1	817.00'	453.08'	447.30'	S15°30'35.5"E

CITY OF APPLETON

DEPT. OF PUBLIC WORKS
ENGINEERING DIVISION
100 NORTH APPLETON STREET
APPLETON, WI 54911

920-832-6474

DRAFTED BY: T. KROMM

Acad dwgs\CSMs\2024\Southpoint 2_Lot_25_2024

CERTIFIED SURVEY MAP NO. _____

All of Lot 24 and 25 of Southpoint Commerce Park Plat No. 2, located in the Southeast ¼ of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 4, Township 20 North, Range 18 East, City of Appleton, Calumet County, Wisconsin.

SHEET 3 OF 3

TREASURER'S CERTIFICATE:

I, being the duly elected, qualified and acting treasurer, do hereby certify that there are no unpaid taxes or unpaid special assessments on of the lands included in this Certified Survey Map as of:

City Finance Director Date
Jeri A. Ohman

County Treasurer Date
Rochelle Oskey

CITY OF APPLETON APPROVAL:

Approved by the City of Appleton on this _____ day of _____, 2024.

Jacob A. Woodford, Mayor Date

Kami Lynch, City Clerk Date

CITY OF APPLETON TRAILS MASTER PLAN

PROPOSED NETWORK

Existing Proposed

- Trail
- - - Bike Lane
- - - Signed Bike Route
- - - WIDOT Study
- Road
- Water
- Park
- City Limit

