

**NOTICE OF PUBLIC HEARING**  
**OF THE**  
**APPLETON CITY PLAN COMMISSION**

Dear property owner(s):

The City of Appleton Plan Commission will conduct a Public Hearing on Tuesday, October 13, 2020, at 4:00 P.M., or as soon thereafter as can be heard, in Common Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, for the purpose of considering the following proposed Special Use Permit:

- Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by Malcore Foods, applicant, and Messenger Property Management, owner, for the property located at 300 East Coolidge Avenue (Tax Id #31-9-0030-00) to obtain a Special Use Permit for the manufacturing of dairy products. In the C-2 General Commercial District, a Special Use Permit is required for light manufacturing (manufacturing of dairy products for the subject property).
  
- ALDERMANIC DISTRICT: 15 – Alderperson Corey Otis

You are being notified as a policy of the City of Appleton Community and Economic Development Department. This notification invites you to express your views or concerns regarding the above-described request. The Plan Commission meeting is open to the public; however, considering the COVID-19 Health Emergency, you are strongly encouraged to share any feedback with Plan Commission members via written letter, email or phone call instead of appearing in person. Please contact Jessica Titel, Principal Planner, in the Community and Economic Development Department at 920-832-6476 or by email at [jessica.titel@appleton.org](mailto:jessica.titel@appleton.org).

Alternatively, you can also contact the Mayor's Office at [mayor@appleton.org](mailto:mayor@appleton.org) and your comments will be forwarded to the Plan Commission. The City Plan Commission makes a recommendation to the Common Council who makes the final decision on the matter.

CITY PLAN COMMISSION

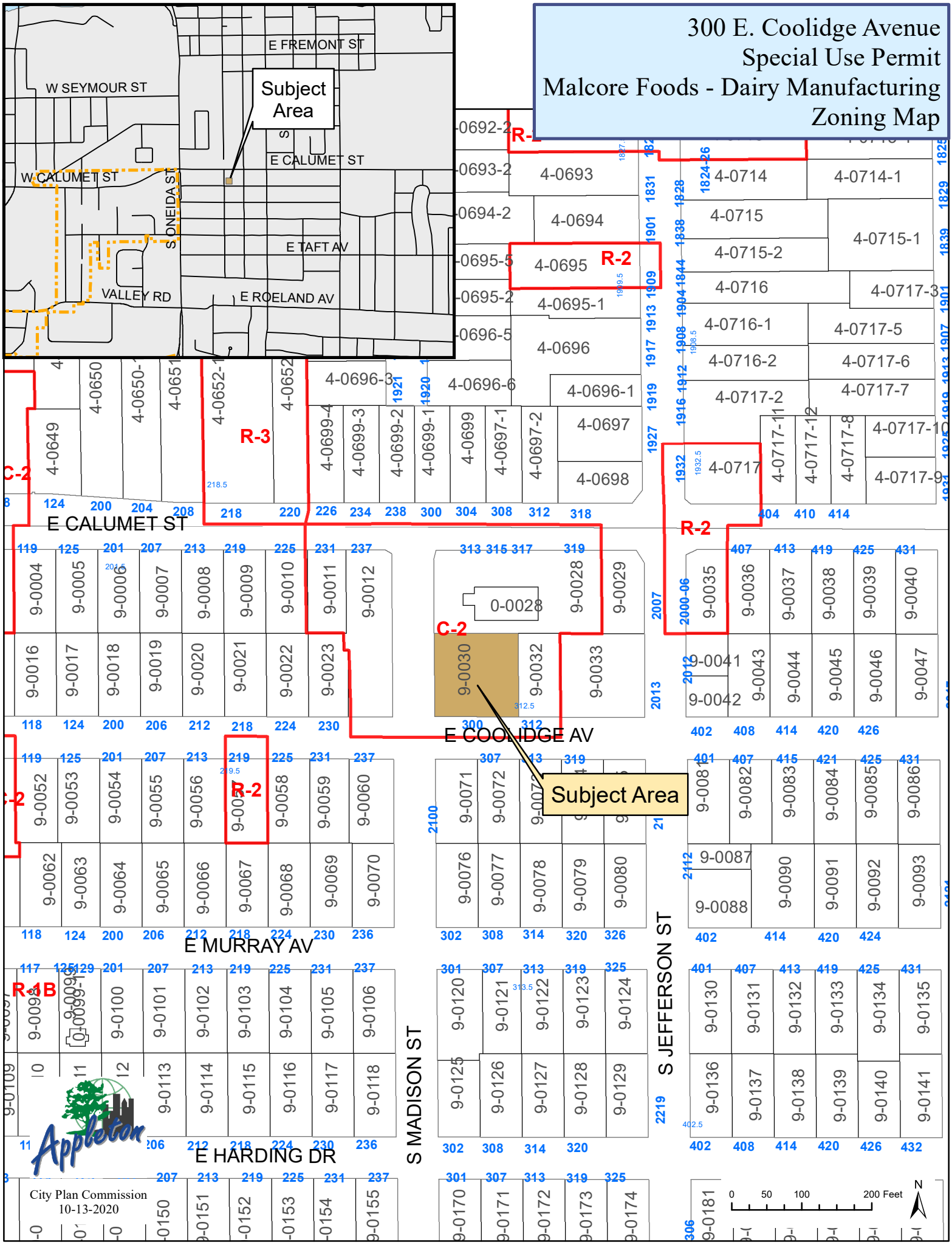
COMMUNITY & ECONOMIC DEVELOPMENT  
CITY HALL - 100 NORTH APPLETON STREET  
APPLETON, WISCONSIN 54911-4799  
920-832-6468

*Reasonable accommodations for persons with disabilities will be made upon request and if feasible.*

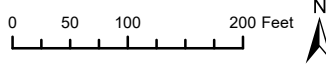
# 300 E. Coolidge Avenue Special Use Permit Malcore Foods - Dairy Manufacturing Zoning Map

Subject Area

Subject Area



City Plan Commission  
10-13-2020





300 E. Coolidge Avenue  
Special Use Permit  
Malcore Foods - Dairy Manufacturing  
Aerial Map

37

313

9-0028

9-0012

9-0028

Subject Area

S MADISON ST

9-0030

9-0032

312.5

300

312

E COOLIDGE AV

237

307

313

319

9-0071

9-0072

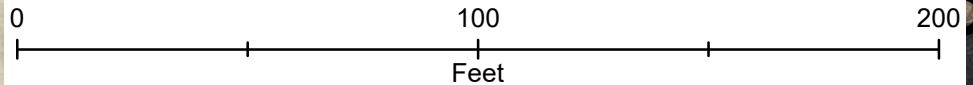
9-0073

9-0074

2100



City Plan Commission  
10-13-2020





**GENERAL NOTES**

**COMPLIANCE** – All work of all trades shall be performed and completed in accordance with all applicable governing codes, laws, ordinances, regulations or statutes. Any contractor discovering any variance in the drawings with said code, law, ordinance, regulation or statute shall notify the owner and/or architect immediately.

**SITE CONDITIONS** – Each contractor shall be responsible for reviewing all drawings and site prior to bidding and for verifying all pertinent conditions, utilities, utility requirements, dimensions, extent of demolition and new construction required. Discrepancies or inaccuracies found in the drawings or existing conditions shall be reported to the project manager and/or architect immediately.

**PERMITS** – Each contractor shall be responsible for paying for and obtaining all necessary permits, licenses, insurance, etc. required to perform and complete their portion of the work.

**DESIGN BUILD** – This project will implement the 'design-build' process. Each plumbing, HVAC, and electrical contractor shall be responsible for furnishing all of their associated equipment, materials, labor, installation, etc. to perform and complete their work. It is understood by execution of a contract for the area of work, that the contractor will furnish a completed working product or assembly.

**SCOPE** – These drawings are diagrammatic and show the intent of the project but do not necessarily indicate all materials and methods of construction for the completion of the project. All contractors shall review all project drawings thoroughly and shall be responsible for providing all materials and methods of construction required to perform and complete their portion of the work in a timely and organized manner in accordance with the intent of these drawings prior to the project date of completion.

**COORDINATION** – Each contractor shall be responsible for coordinating their work with the general contractor and with other contractors. Each contractor shall verify and coordinate his work with any equipment provided by the owner prior to construction. Any situation or incident which would change or alter the work of the contractor in any way or which would prevent the contractor from performing or completing his work within his proper time frame must be reported immediately to the owner, general contractor and/or architect.

**HOLES** – All holes for plumbing, electrical, HVAC, piping or ductwork are to be repaired by the associated trade. Each hole shall be neatly cut and shall be only as large as necessary. Associated trade contractor shall be responsible for their holes left unrepaired and will be back charged accordingly for such repairs.

**SUBMITTALS** – Contractors shall provide to the owner all pertinent submittals, product data, relevant technical data, material samples, finish samples, etc. for review and approval prior to commencement of work. When not specified, the contractor may submit/ suggest materials to the owner/ architect for their review and approval.

**INTERPRETATION** – All requests for detailed project information, interpretation, intent, etc. must be made at least ten (10) days prior to bid date. Responses will be confirmed in writing.

**CHANGES** – The owner and/or architect shall have the right to make changes to the project during the progress of the work without voiding contracts. All changes must be made in writing.

**DIMENSIONING** – Do not scale drawings. Use written dimensions only. If clarifications or additional dimensions are required, then notify the architect immediately. Unless noted otherwise, all plan dimensions are shown to face of finished wall surface.

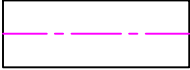
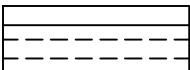
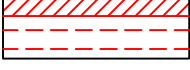

**PROVISIONS** – Unless noted otherwise, the owner/ General contractor shall provide temporary sanitary facilities, water, electrical, code required temporary fire extinguishers (during construction), adequate and required barricades, dust barriers, fences, safety precautions and dumpsters, and shall maintain same to be in good working order during the project.

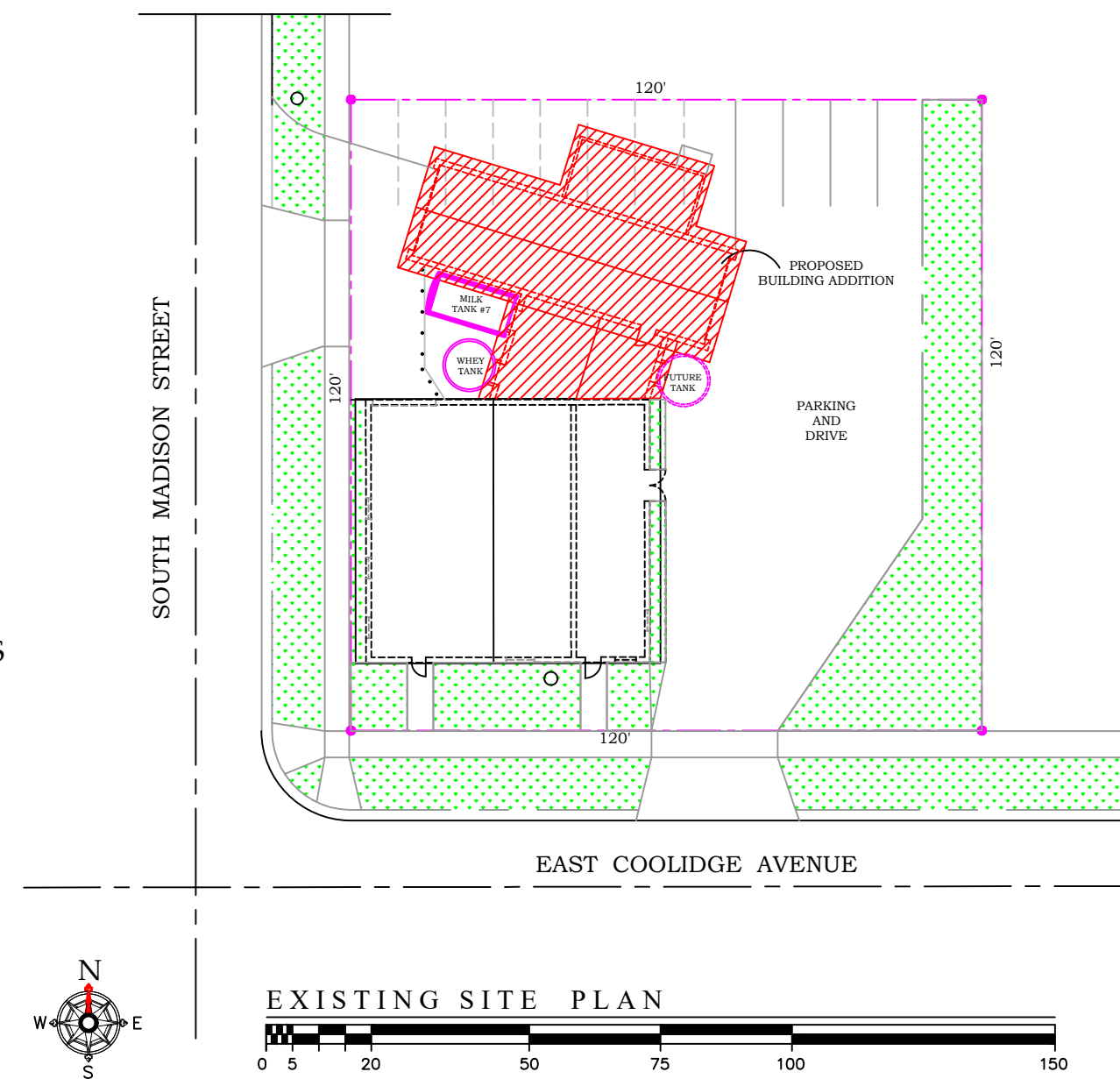
**CLEANING** – All contractors shall be responsible for performing and maintaining their work and equipment in an organized manner. Each contractor shall clean up and dispose of work debris at the end of each day.

**QUALITY** – All work by each contractor shall be performed and completed using proper and acceptable construction practices using quality materials. The owner shall have the right to reject work, or materials that are not of acceptable quality or do not conform to the intent of the project.

**GUARANTEE** – Unless noted otherwise, each contractor shall guarantee their work under contract against defective workmanship and/or materials for a period of not less than one year from substantial completion of their work.

**PROPOSED BUILDING ADDITION FOR:  
MALCORE CHEESE PLANT  
300 E. COOLIDGE AVENUE  
APPLETON, WI**

-  LOT LINE
-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  LANDSCAPED/LAWN AREAS



PROJECT DATA			
GOVERNING AUTHORITY	BUILDING USAGE		REMARKS
WISCONSIN DEPT. OF COMMERCE SAFETY & BUILDINGS DIVISION	CLASS OF CONSTRUCTION: VB WOOD FRAME, UNPROTECTED		AS PER TABLE 506.2 ALLOWABLE AREA IS 8,500 S.F. PLUS STREET FRONTAGE
IEBC INTERNATIONAL EXISTING BUILDING CODE -2015 IBC INTERNATIONAL BUILDING CODE - 2015	OCCUPANCY CHAPTER: SECTION 306, FACTORY GROUP "F-1", MODERATE-HAZARD		AS PER TABLE 1017.2 THE EXIT ACCESS TRAVEL DISTANCE IS 200 FEET FOR A NON-SPRINKLED BUILDING.
JURISDICTION: CITY OF APPLETON OUTAGAMIE COUNTY	AS PER TABLE 504.4 ALLOWABLE NUMBER OF STORIES IS ONE FOR TYPE "F-1" OCCUPANCY NON-SPRINKLED		
BUILDING LEVELS	CLASSIFICATION		REMARKS
FLOOR LEVEL	EXISTING	ADDITION	TOTAL
FIRST FLOOR	2,700 S.F.	1,982 S.F.	4,682 S.F.

**PROJECT SCOPE:**

THE EXISTING BUILDING IS A TYPE IIIB, WITH NON-COMBUSTIBLE EXTERIOR WALLS. THE NEW ADDITION WILL BE WOOD FRAME, UNPROTECTED CONSTRUCTION WHICH WILL MAKE THE ENTIRE BUILDING A TYPE VB UNPROTECTED BUILDING. IS A ONE STORY SLAB ON GRADE, NON-SPRINKLED BUILDING TO BE ALL CHEESE MAKING FACTORY. THE LAST TENANT WAS A VEHICLE REPAIR SHOP. THERE IS ONE EXISTING TOILETS THAT IS NOT UP TO TODAY'S CODES. SINCE THERE WILL BE LESS THAN 15 TOTAL OCCUPANTS IN THIS BUILDING AT ANY ONE TIME, ONE NEW CODE COMPLYING UNISEX TOILET WILL BE PROVIDED ALONG WITH A JANITORS SINK. THERE WILL BE CHANGES TO THE THE PARKING LOT AND DRIVEWAYS AS REQUIRED TO ALLOW TRUCK ENTRANCE INTO THE PROPERTY WITHOUT HAVING TO BACK INTO THE STREET.

**SHEET INDEX**

- A-1 COVER SHEET, SITE PLAN, PROJECT SCOPE
- A-2 EXISTING FLOOR PLAN AND EXTERIOR BUILDING ELEVATIONS
- A-3 PROPOSED SITE AND FLOOR PLAN
- A-4 FOUNDATION PLAN
- A-5 ROOF FRAMING PLAN, SECTION
- A-6 ROOM FINISH AND DOOR SCHEDULES
- A-7 WALL AND BUILDING SECTIONS
- A-8 TOILET ROOM PLANS AND DETAILS
- A-9 EXTERIOR BUILDING ELEVATIONS



**ROBERT ACORD - ARCHITECT**  
1210 MAPLE STREET  
NEENAH, WI 54956  
920-729-9632 acordrj@aol.com

PROPOSED BUILDING ADDITION FOR:  
**MALCORE CHEESE PLANT**  
300 E. COOLIDGE AVENUE  
APPLETON, WI

**DATE**  
3 AUG 20

**PROJECT NUMBER**  
20-021

**SHEET**  
**A-1**

18" X 24" FORMAT



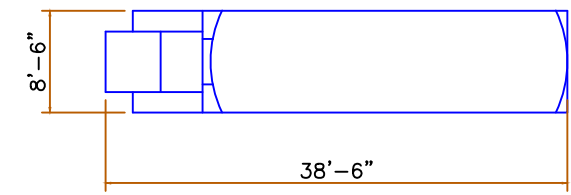
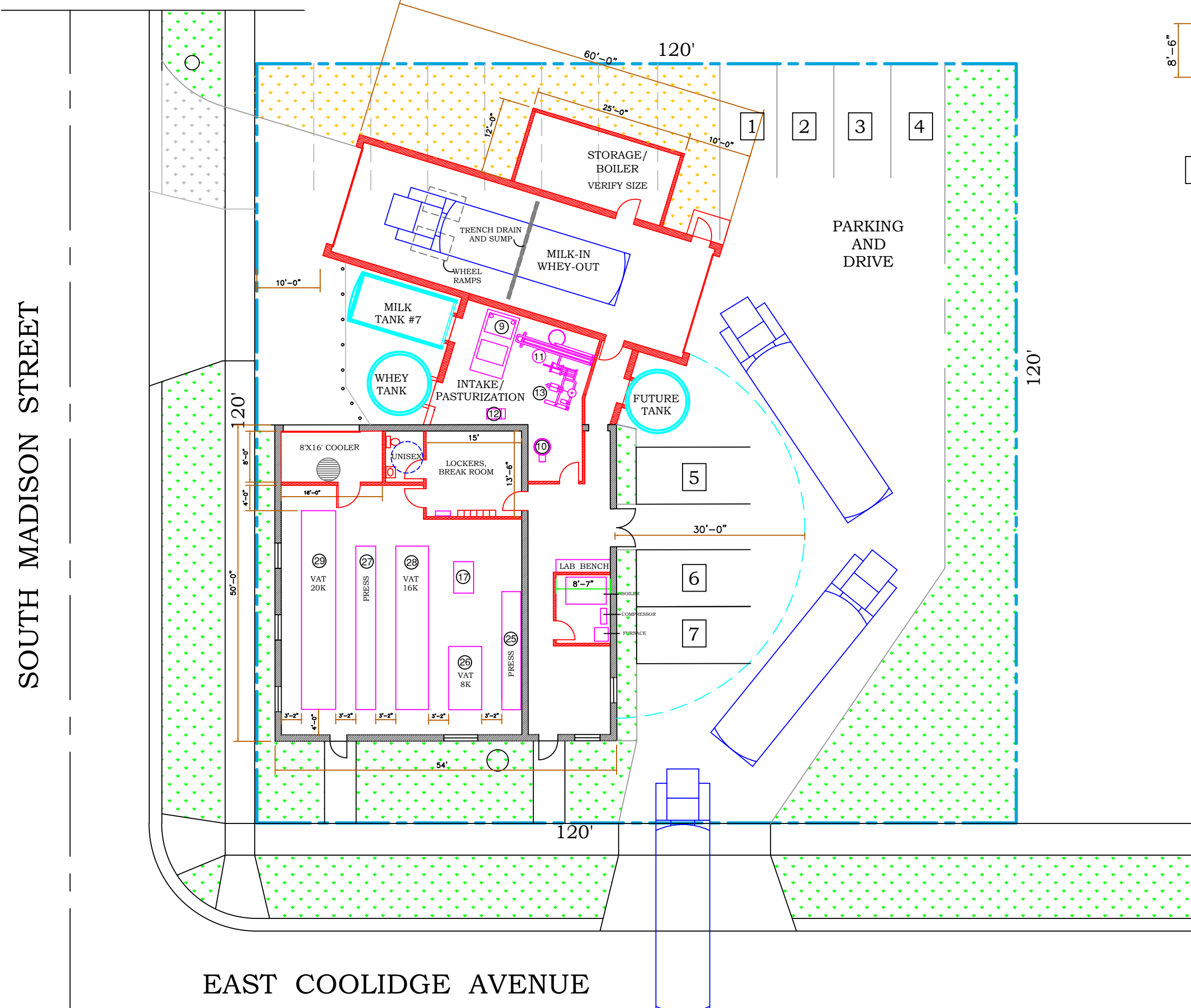
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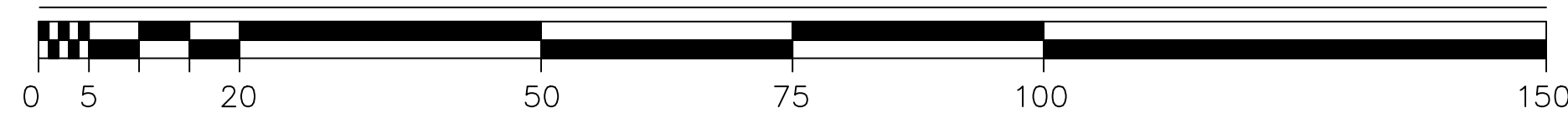
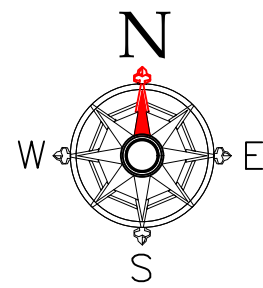
SHEET  
**A-3r**



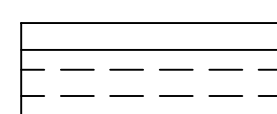
7 9' X 18' PARKING STALL

- 9 CREAM STORAGE
- 10
- 11
- 12
- 13
- 17
- 25 PRESS
- 26 VAT 8K
- 27 PRESS
- 28 VAT 16K
- 29 VAT 20K

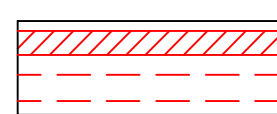
PROPOSED SITE / FLOOR PLAN



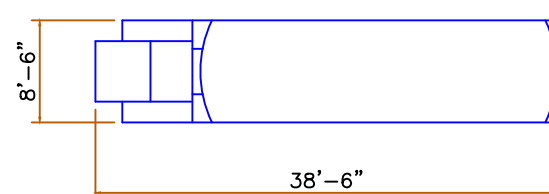
LOT LINE



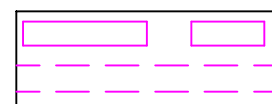
EXISTING CONSTRUCTION



NEW CONSTRUCTION



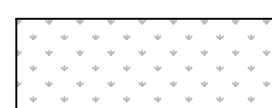
MILK TRUCK



EQUIPMENT/MACHINES



LANDSCAPED/LAWN AREAS TO REMAIN



LANDSCAPED/LAWN AREAS TO BE REMOVED

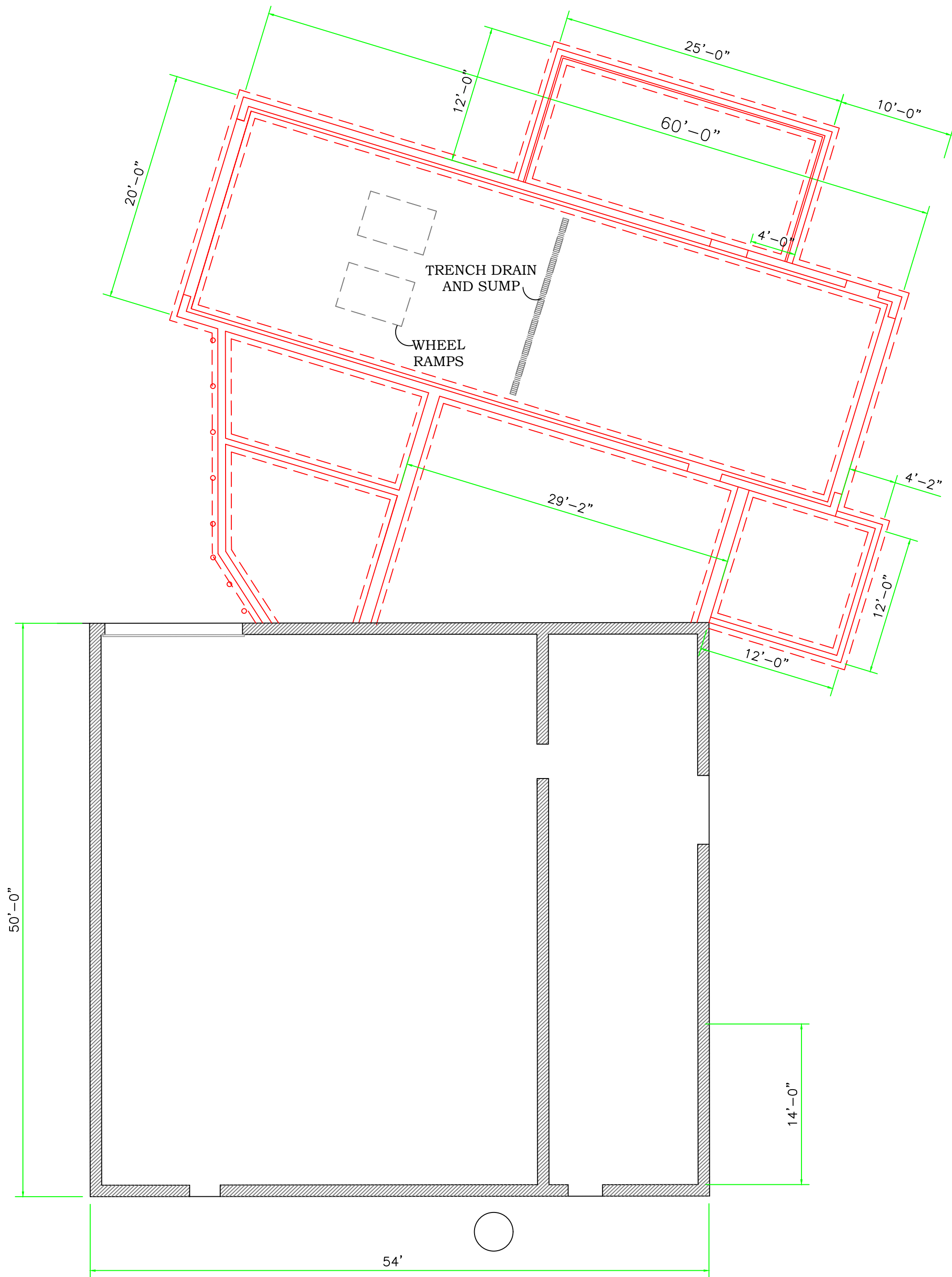
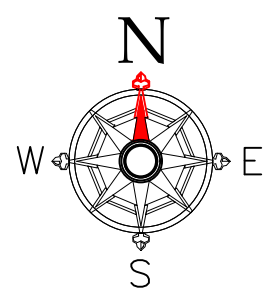


PAVED AREAS TO BE REMOVED AND LANDSCAPED

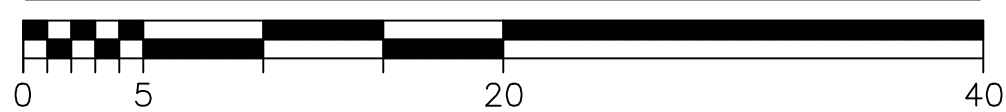
TOTAL LOT, 120' X 120' = 14,400 S.F.  
 MINIMUM GREEN SPACE = 25%  
 14,400 X .25 = 3,600 S.F. **REQUIRED**  
 ACTUAL GREEN SPACE = 3,655 S.F.  
 BUILDING: 4,682 S.F.  
 ZONED C-2  
 PARCEL 31-9=0030-00

1/16" = 1'-0" @ 18" X 24" FORMAT





FOUNDATION PLAN



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SHEET  
**A-4**



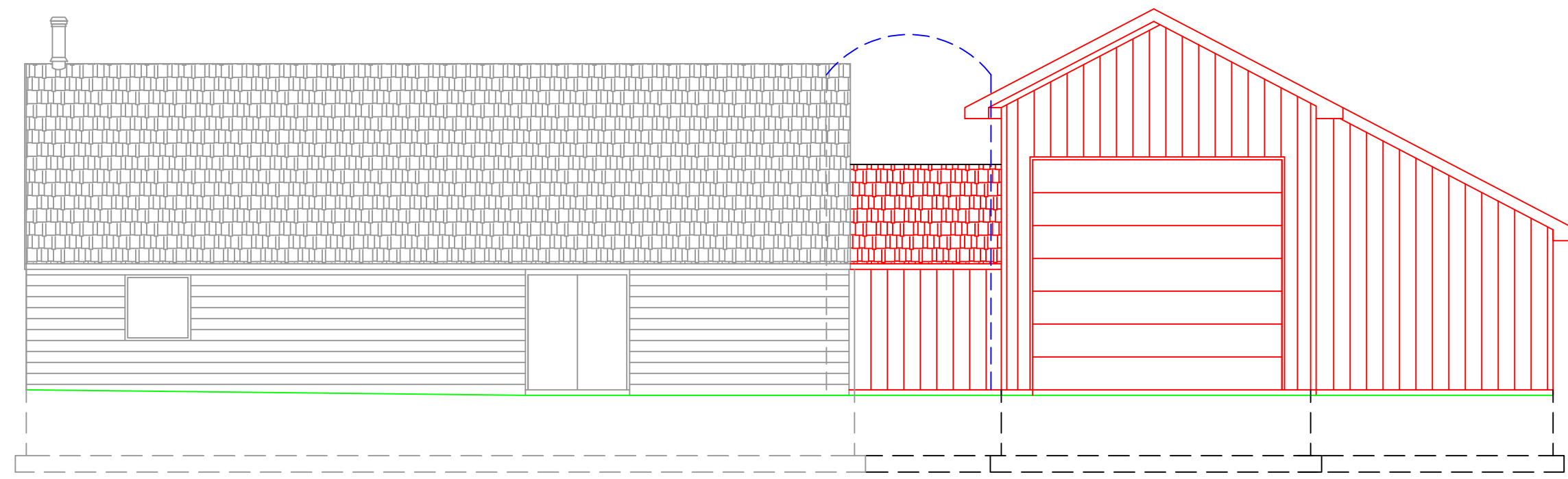
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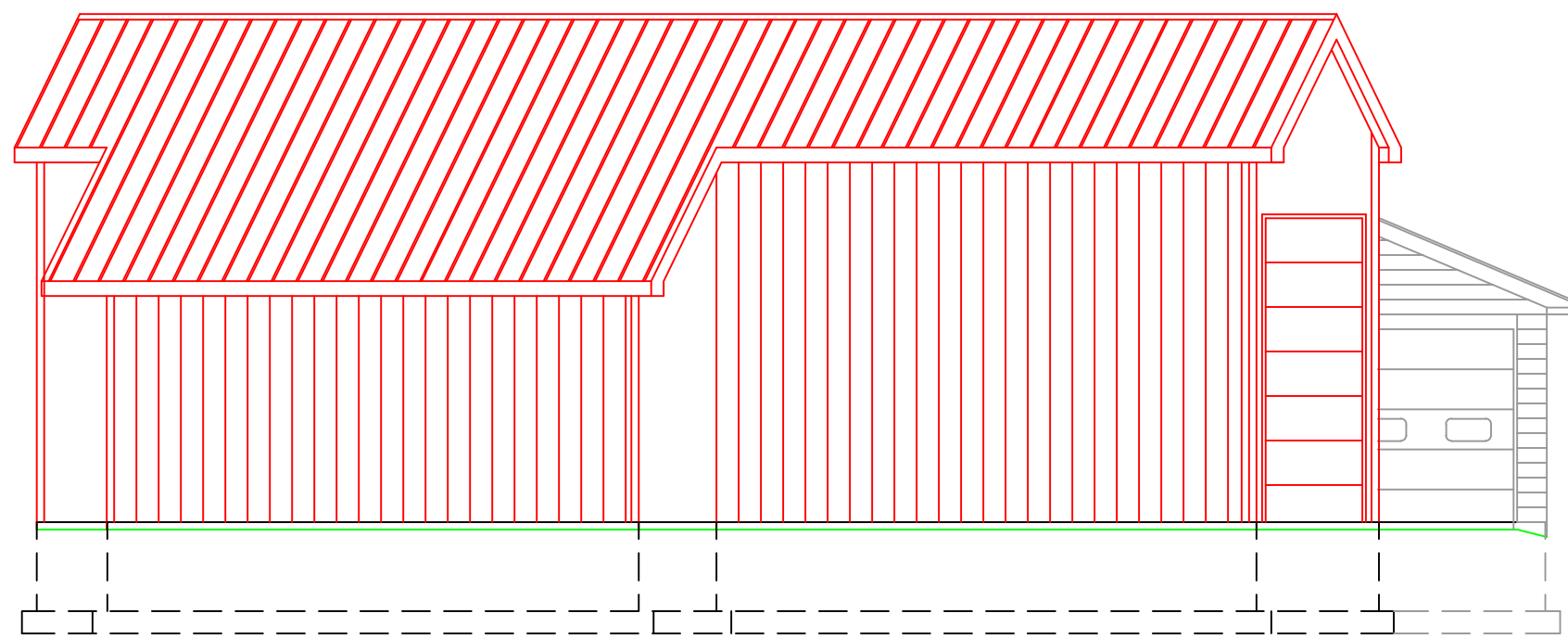
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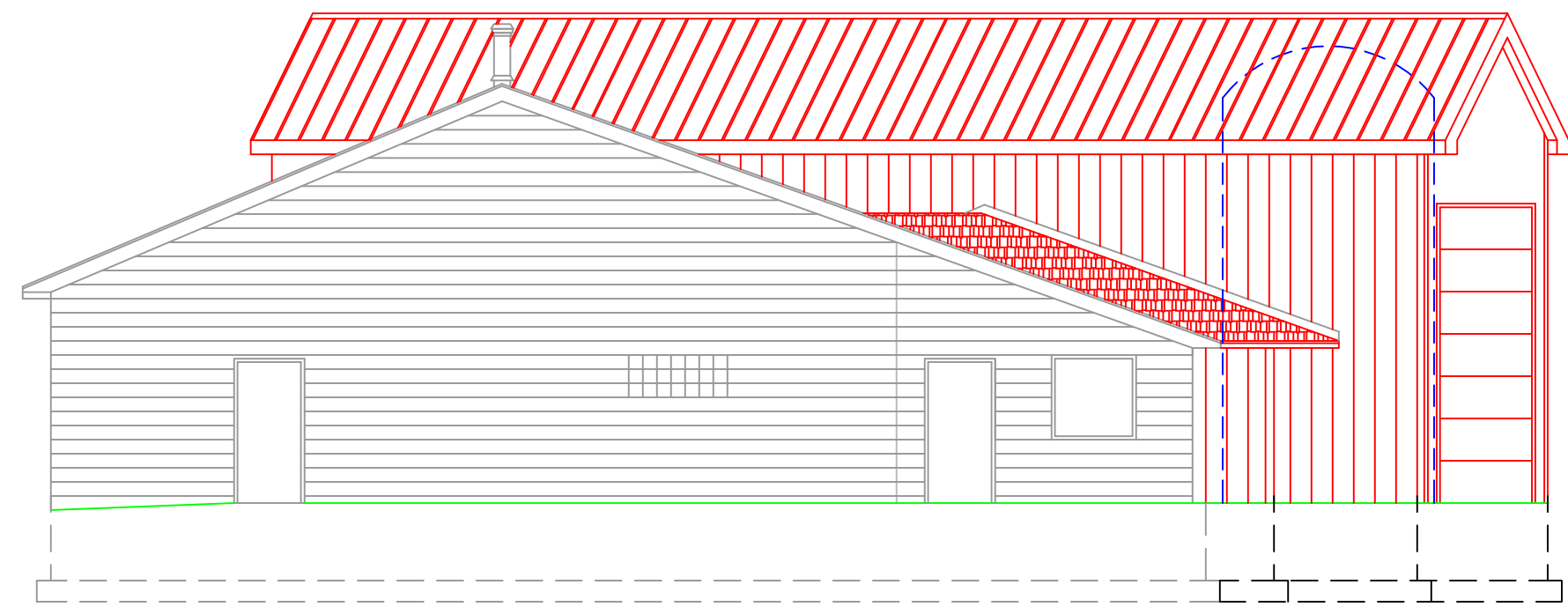
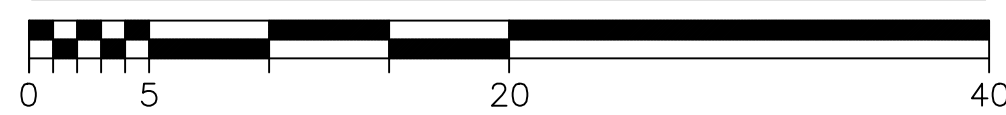
SHEET  
**A-9**



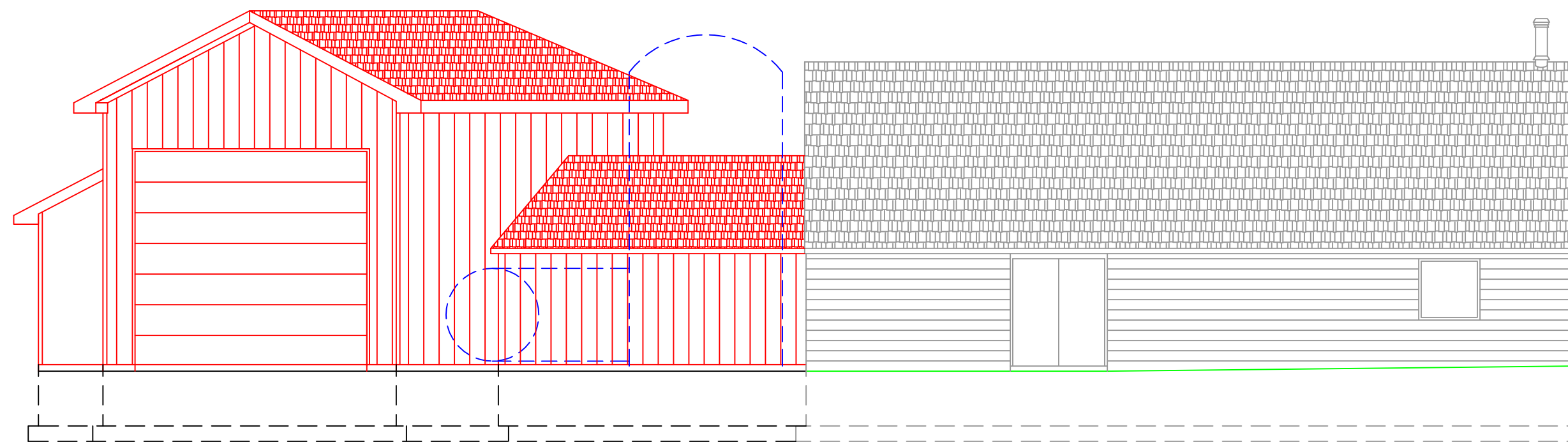
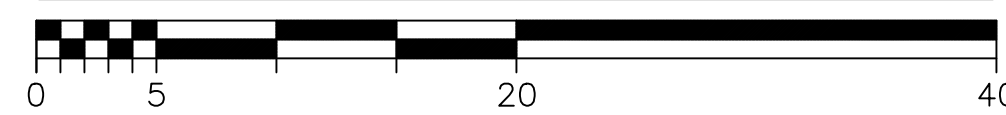
EAST ELEVATION



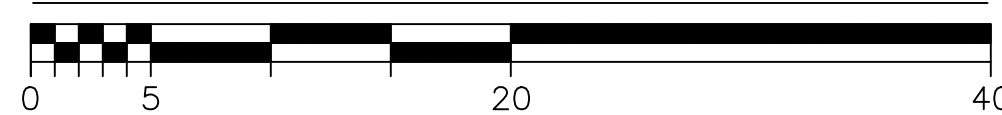
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



1/8" = 1'-0" @ 18" X 24" FORMAT