

**NOTICE OF PUBLIC HEARING**  
**OF THE**  
**APPLETON CITY PLAN COMMISSION**

Dear property owner(s):

The City of Appleton Plan Commission will conduct a Public Hearing on Wednesday, April 24, 2024, at 3:30 P.M., or as soon thereafter as can be heard, in Common Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, for the purpose of considering the following proposed Special Use Permit:

- Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by Satbir Singh, SK Gas Mart, LLC, owner, to obtain a Special Use Permit to establish a 521 square foot tavern inside the existing storage garage space at 1201 North Badger Avenue (Tax Id #31-5-2130-00). In the C-2 General Commercial District, a Special Use Permit is required for a tavern.
- ALDERMANIC DISTRICT: 10 – Alderperson Vaya Jones

You are being notified as a policy of the City of Appleton Community and Economic Development Department. All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. The Plan Commission makes a recommendation to the Common Council who makes the final decision on the matter.

Any questions regarding this matter should be directed to Don Harp, Principal Planner, in the Community and Economic Development Department at 920-832-6466 or by email at [don.harp@appleton.org](mailto:don.harp@appleton.org).

CITY PLAN COMMISSION

COMMUNITY & ECONOMIC DEVELOPMENT  
CITY HALL - 100 NORTH APPLETON STREET  
APPLETON, WISCONSIN 54911-4799  
920-832-6468

*Reasonable accommodations for persons with disabilities will be made upon request and if feasible.*

Special Use Permit  
Tavern  
SK Gas Mart, LLC  
1201 N Badger Avenue

Subject Area

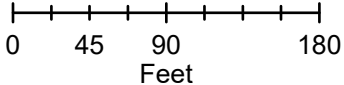
Subject Area

C-2

R-1B

R-2

M-2





PROPOSED PROJECT FOR:

# 1201 N. BADGER AVENUE

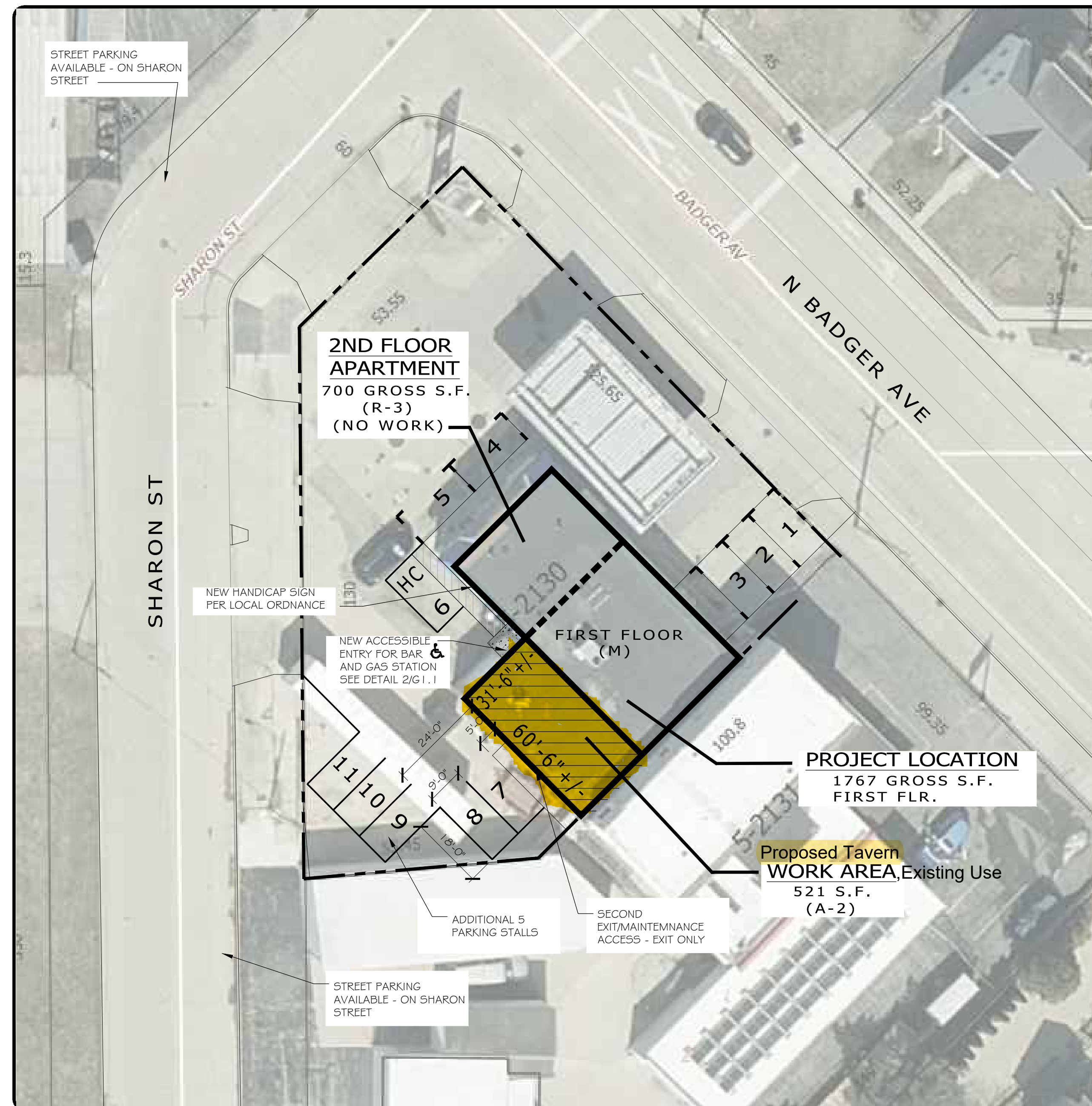
FIRST FLOOR – BAR-REMODEL

APPLETON, WI 54914

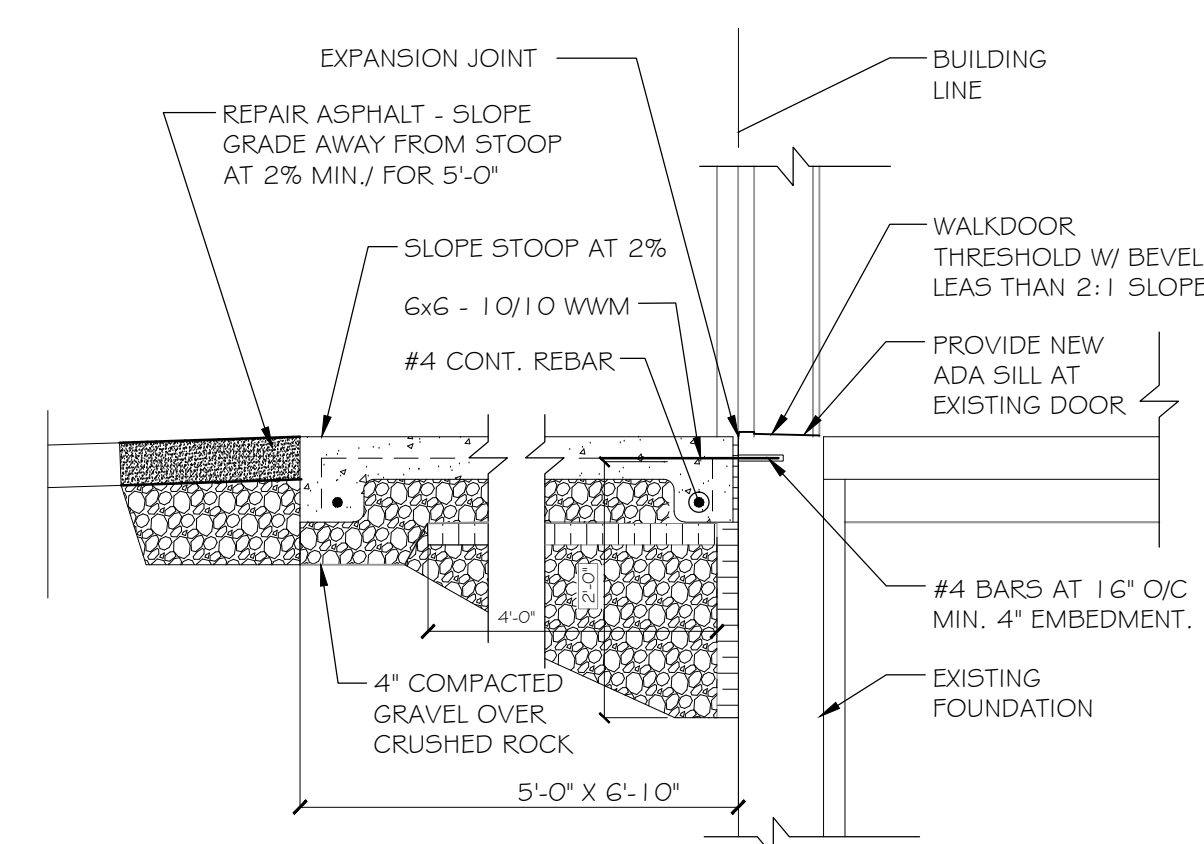
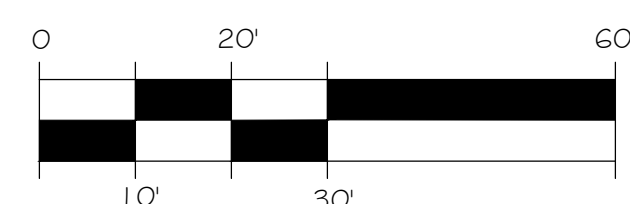
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**RMA**  
ARCHITECTS

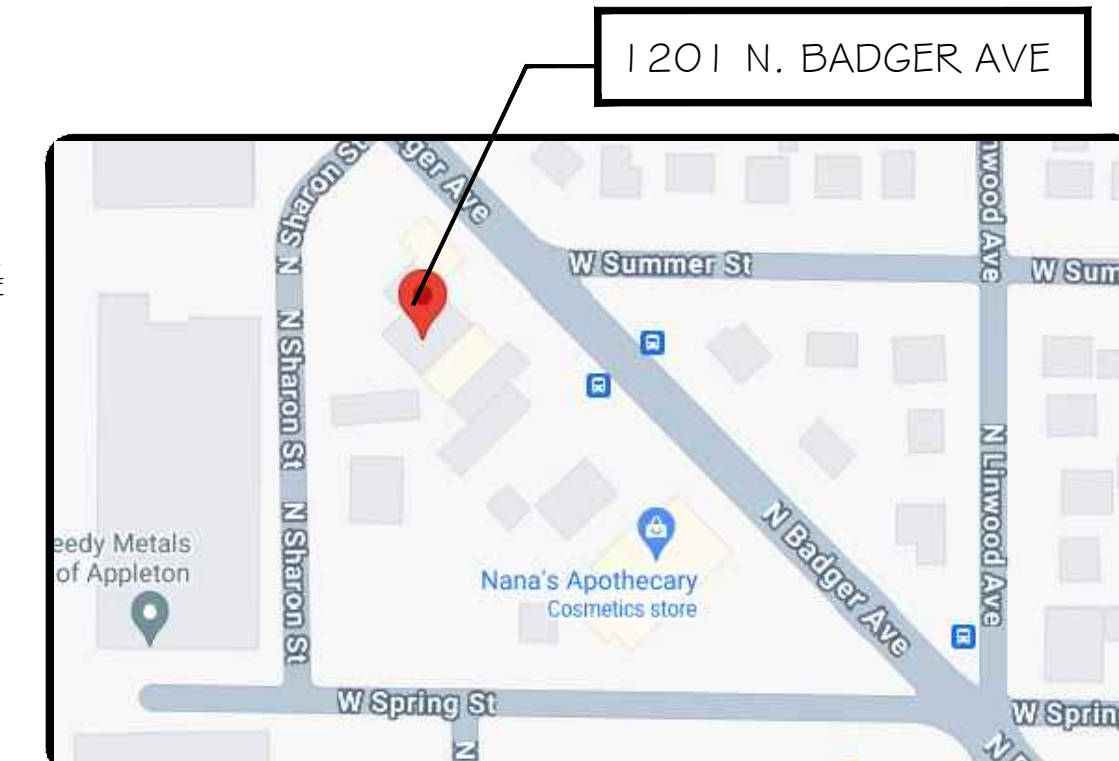
1050 SOUTH GRIDER STREET  
APPLETON, WISCONSIN 54914  
PHONE: 920-364-9850



**SITE PLAN**  
SCALE: 1" = 20'-0"



**STOOP DETAIL**  
SCALE: NTS



**LOCATION MAP**

CONSTRUCTION DOCUMENTS

## SHEET INDEX

GENERAL/ARCHITECTURAL

G1.1	TITLE, SHEET INDEX, SITE PLAN
G1.2	GENERAL INFORMATION SHEET
A2.1	FLOOR PLAN, WALL TYPES AND DETAILS
A2.2	ROOM AND DOOR SCHEDULES, ENLARGED TOILET PLAN AND ELEVATIONS
A2.3	ENLARGED BAR PLAN AND CASEWORK ELEVATIONS
A3.1	ELEVATION PHOTOS - FOR REFERENCE

## BUILDING / CODE INFO

- CODE / LICENSING:  
IBC - 2015 INTERNATIONAL BUILDING CODE  
IEBC - 2015 INTERNATIONAL EXISTING BUILDING CODE  
CITY OF APPLETON ZONING CODE - ZONED C-2
- AREA: FIRST FLOOR: 1,767 S.F. ± SECOND FLOOR: 700 S.F. ±  
TOTAL AREA ALL FLOORS: 2,467 S.F. ±  
WORK AREA: 521 S.F. ± FIRST FLOOR ONLY
- OCCUPANCY:  
M/A2 - APARTMENT(S) (SECOND FLOOR) M/A2, MERCANTILE/ ASSEMBLY (FIRST FLOOR - MOBIL GAS STATION/BAR)
- CONSTRUCTION CLASS: EXISTING BUILDING: TYPE IIIB
- FIRE PROTECTION: VIA TWO HOUR FIRE BARRIERS - NOT SPRINKLED.
- BUILDING OWNER:  
SK GAS MART LLC  
W6028 BLAZING STAR DRIVE  
APPLETON, WI 54915
- CONTACT:  
SATBIR SINGH - EMAIL: skgasmart2022@yahoo.com
- TENANTS: APARTMENT R3 (SECOND FLOOR) + COMMERCIAL SPACE ON FIRST FLOOR - M/A2 OCCUPANCY - CHANGE IN OCCUPANCY FROM S-1 TO A-2.

## STAMPS



Timothy F. Maertz  
Architect - A7776-005  
Expires 07-31-24

*Timothy F. Maertz*

Signed 3-21-2024

## SCOPE OF WORK

- CONVERT EXISTING STORAGE AREA (S-1) TO NEW BAR (A-2) VIA 2 HOUR OCCUPANCY SEPARATION FROM MOBIL STATION (M) WITH OWNER OCCUPIED (R-3) ABOVE. NO WORK IN THOSE TWO SPACES.
- CREATE NEW ADA FAMILY TOILET ROOM TO BE SHARED WITH MOBIL STATION, BOTH FAMILY TOILETS TO BE USED AND COUNTED TOWARDS THE REQUIRED TOILET FIXTURE COUNT.
- CREATE NEW ADA ACCESSIBLE ENTRY FOR BAR AND EXISTING MOBIL STATION, PROVIDE NEW STOOP SLAB AND REPAIR ASPHALT AS NEEDED TO MAINTAIN A LESS THAN 1 TO 20 SLOPE. PITCH AWAY FROM DOOR.
- ALL MEP WORK BY OTHERS.
- NO ZONING OR SITE WORK BEYOND THE NEW STOOP SLAB AND ASPHALT RESTORATION.
- OWNER TO CONTACT THE CITY OF APPLETON HEALTH DEPARTMENT TO CONFIRM ALL REQUIREMENTS FOR THE BAR SPACE, NOT PART OF THIS WORK.

**NOTE: SCALE WILL BE HALF  
IF PRINTED 11X17**

PROJECT DESCRIPTION: REMODEL FOR:  
**1201 N. BADGER AVE**  
FIRST FLOOR BAR -REMODEL  
1201 N. BADGER AVE. APPLETON, WI 54914

DRAWN BY  
TFM  
CHECKED BY  
TFM

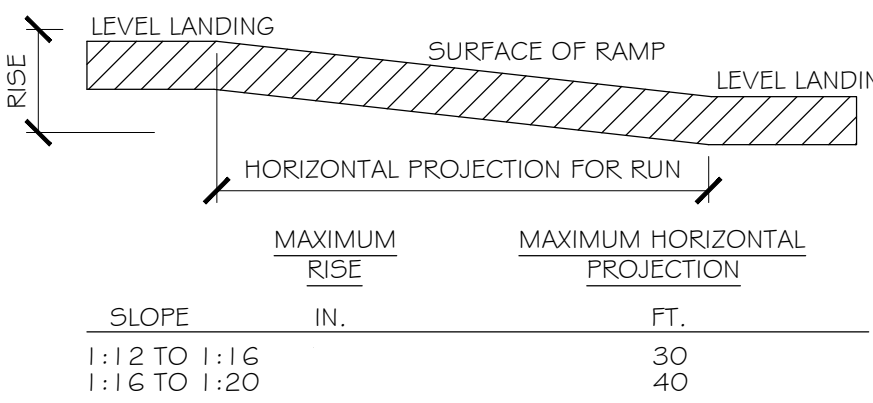
DATE  
02/23/24

PROJECT NO.  
245005

**G1.1**



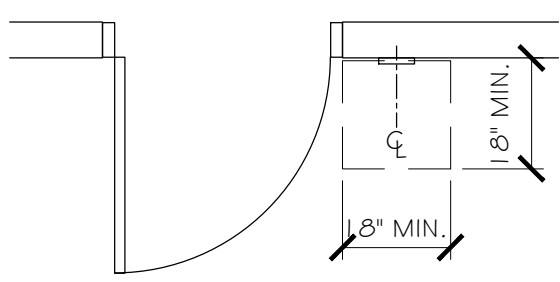
ABBREVIATION KEY											
A.A.B.	ANCHOR BOLT	D.DEMO.	DEMOLITION	G.GAS	GAS	N.N/A	NOT APPLICABLE	S.SQ.	SQUARE		
AC.FLR.	ACCESS FLOOR	DEPR.	DEPRESSION	GA.	GAUGE	NEC	NATIONAL ELECTRICAL CODE	SS	STORM SEWER		
ACOUS.	ACOUSTICAL	DEPT.	DEPARTMENT	GALV.	GALVANIZED	NIC	NOT IN CONTRACT	ST.	STAINLESS		
ADA	AMERICANS WITH DISABILITIES ACT	DTLS.	DETAILS	GB	GRAB BAR	NO.	NUMBER	ST.	STREET		
ADD.	ADDENDUM	DF	DRINKING FOUNTAIN	GBC	GENERAL BUILDING	NOM.	NOMINAL	STD.	STANDARD		
ADDL.	ADDITIONAL	DIA.	DIAMETER	CONTRACTOR	CONTRACTOR	NRC	NOISE REDUCTION COEFFICIENT	STL.	STEEL		
ADJ.	ADJUSTABLE	DIAG.	DIAGONAL	GEN.	GENERAL		NOT TO SCALE	STOR	STORAGE		
ADJ.	ADJACENT	DIFF.	DIFFUSER	GENER.	GENERATOR	NTS		STRUCT	STRUCTURAL		
ADMIN.	ADMINISTRATION	DIM.	DIMENSION	GL.	GLASS			STWD.	SOFTWOOD		
A.F.F.	ABOVE FINISHED FLOOR	DISP.	DISPENSER	GR.	GRADE			SUPV.	SUPERVISOR		
AHU	AIR HANDLING UNIT	DIST.	DISTRIBUTION	GYP.	GYPSPUM	O.O.C.	ON CENTER	SUSP.	SUSPENDED		
ALT.	ALTERNATE	DIV.	DIVISION			O.D.	OUTSIDE DIAMETER	SW.	SWITCH		
ALUM.	ALUMINUM	DN	DOWN				OFFICE				
AMEND.	AMENDMENT	DP	DEEP	H.H.	HIGH	OH.	OVERHEAD				
ANNUN.	ANNUNCIATOR	DR.	DOOR	HB	HOSE BIBB	OPER.	OPERATOR	T.T	TOILET		
AP	ACCESS PANEL	DR.	DRIVE	HD	HAND DRYER	OPNG.	OPENING	T.	TREAD		
APPROX.	APPROXIMATE	DS	DOWNSPOUT	HDCP.	HANDICAP	OPF.	OPPOSITE	TAN.	TANGENT		
ARCH.	ARCHITECTURAL	DW	DISHWASHER	HDR.	HEADER	ORD	OVERFLOW ROOF DRAIN	TC	TIME CLOCK		
ATC	ACOUSTICAL TILE CEILING	DWG.	DRAWING	HDWD.	HARDWOOD			TEL.	TELEPHONE		
AUTO.	AUTOMATIC	DWLS.	DOWELS	HDWR.	HARDWARE			TEMP.	TEMPERED		
				HM	HOLLOW METAL	P.PART.	PARTITION	TEMP.	TEMPERATURE		
				HORIZ.	HORIZONTAL	PB	PASS BOX	TERR.	TERRAZZO		
				HTR.	HEATER	PC	PRECAST	T&G	TONGUE AND GROOVE		
B.BUL.BO.	BULLETIN BOARD	EA	EXHAUST-AIR	HVAC	HEATING VENTILATING	PD	PENCIL DRAWER	THRES.	THRESHOLD		
BD.	BOARD	EA.	EACH	AIR-CONDITIONING	PH	PANIC HARDWARE	TLT.	TOILET			
BG	BUMPER GUARD	EC	ELECTRICAL CABINET	HW	HOT WATER	PL	PLATE	TRANS.	TRANSFORMER		
BIT	BITUMINOUS	EF	EXHAUST FAN			PLAM.	PLASTIC LAMINATE	TS	TUBE STEEL		
BKT.	BRACKET	EL.	ELEVATOR			PLAS.	PLASTIC	TV	TELEVISION		
BLDG.	BUILDING	ELEC.	ELECTRICAL	I.I.D.	INSIDE DIAMETER	PLAST.	PLASTER	TYP.	TYPICAL		
BLKG.	BLOCKING	ELEV.	ELEVATION	IN.	INCH	PLMB	PLUMBING				
BM.	BEAM	EMERG.	EMERGENCY	INSUL.	INSULATION	PLWD.	PLYWOOD				
BOT.	BOTTOM	ENCL.	ENCLOSURE	INT.	INTERIOR	PNL.	PANEL	UC	UNDERCUT		
BRG.	BEARING	ENTR.	ENTRANCE	ISO.	ISOLATION	FR.	FAIR	UCR	UNDERCOUNTER		
BSMT.	BASEMENT	EO	ELECTRICAL OUTLET			PRELIM.	PRELIMINARY	REFRIGERATOR	REFRIGERATOR		
BUL.	BULLETIN	EP	ELECTRIC PANEL			PRV	POWER ROOF VENTILATOR	UL	UNDERWRITER		
		EQ.	EQUAL	J.JAN.	JANITOR	PTN.	PARTITION	LABORATORIES	LABORATORIES		
		EQUIP.	EQUIPMENT	JB	JUNCTION BOX	PVC	POLYVINYL CHLORIDE	UNFIN.	UNFINISHED		
C.CAB.	CABINET	EWC.	ELECTRIC WATER COOLER	JST.	JOIST	UNO	UNLESS NOTED				
CCTV	CLOSED CIRCUIT TELEVISION	EX.	EXISTING	JT.	JOINT						
CD	CEILING DOOR	EXC.	EXCAVATE			Q.QT.	QUARRY TILE	UR.	URINAL		
CEIL.	CEILING	EXH.	EXHAUST					UTIL.	UTILITY		
CG	CORNER GUARD	EXIST.	EXISTING	K.KO	KNOCK OUT	R.R	RADIUS				
CH	COAT HOOK	EXP.	EXPANSION	K5	KNEE SPACE	R.	RISER	V.V	VENT		
C.J.	CONSTRUCTION JOINT	EXT.	EXTERIOR	KW	KILOWATT	RA	RETURN-AIR	VCT	VINYL COMPOSITION TILE		
CLG.	CEILING					RD	ROOF DRAIN	VENT.	VENTILATION		
CLR.	CLEAR					REBAR	REINFORCED ROD	VERT.	VERTICAL		
CM	CONSTRUCTION MANAGER	F.FA	FIRE ALARM	L.L.	LAVATORY	REC.	RECESSED	VEST.	VESTIBULE		
CMU	CONCRETE MASONRY UNIT	FB	FIRE BLANKET	LAM.	LAMINATE	REF.	REFERENCE	VNL.	VINYL		
CO	CLEAN-OUT	LD	FIRE DAMPER	LAV.	LAVATORY	REFRIG.	REFRIGERATOR	VTR.	VENT THROUGH ROOF		
COL	COLUMN	FD	FLOOR DRAIN	LB.	POUND	REINF.	REINFORCING	VWC	VINYL WALL COVERING		
COMB.	COMBINATION	FDN.	FOUNDATION	LIN.	LINEAR	REQD.	REQUIRED				
CONC.	CONCRETE	FE	FIRE EXTINGUISHER	LKR.	LOCKER	RET.	RETAINING				
CONF.	CONFERENCE	FEC	FIRE EXTINGUISHER CAB.	LL	LEAD LINED	REV.	REVISION	W.W.	WIDE		
CONN.	CONNECTION	FH	FIRE HOSE	LLH	LONG LEG HORIZONTAL	RH	ROOF HATCH	W/	WITH		
CONST.	CONSTRUCTION	FHC	FIRE HOSE CABINET	LLV	LONG LEG VERTICAL	RM.	ROOM	W/O	WITHOUT		
CONT.	CONTINUOUS	FIN.	FINISH	LP	LIGHT POLE	RO	ROUGH OPENING	WC	WATER CLOSET		
CONTR.	CONTRACTOR	FIXT.	FIXTURE	LVR.	LOUVER	R&S	ROD AND SHELF	WD.	WOOD		
COORD.	COORDINATE	FLR.	FLOOR					WDW.	WINDOW		
CORR.	CORRIDOR	FLASH.	FLASHING					WF	WIDE FLANGE		
CPT.	CARPET	FLEX.	FLEXIBLE	M.MAN.	MANUAL	S.S.	SINK	WGT.	WEIGHT		
CT	CERAMIC TILE	FLG.	FLANGE	MATL.	MATERIAL	SCHED	SCHEDULE	W.H.	WATER HEATER		
CTR.	CENTER	FLUOR.	FLUORESCENT	MAX.	MAXIMUM	SD	SMOKE DAMPER	WHCR.	WHEEL CHAIR		
CTSK.	COUNTERSINK	FM	FACTORY MUTUAL	MECH.	MECHANICAL	SECT.	SECTION	WP	WATERPROOF		
CUH	CABINET UNIT HEATER	FP	FIREPROOF	MEMB.	MEMBRANE	SF	SQUARE FOOT/FEET	WS	WEATHERSTRIP		
CW	COLD WATER	FRMG.	FRAMING	MTL.	METAL	SH.	SHELF	WSCT.	WAINSCOAT		
CYL.	CYLINDER	FS	FLOOR SINK	MEZZ.	MEZZANINE	SHR.	SHOWER	W.W.F.	WELDED WIRE MESH		
		FT.	FOOT/FEET	MFR.	MANUFACTURING	SHT.	SHEET				
		FTG.	FOOTING	MH	MANHOLE	SHTG.	SHEATHING				
		FTN.	FOUNTAIN	MIN.	MINIMUM	SIM.	SIMILAR	X.XFMR.	TRANSFORMER		
		FUT.	FUTURE	MIR.	MIRROR	SPEC.	SPECIFICATION				
				MISC.	MISCELLANEOUS						
				M.O.	MASONRY OPENING			Y.YD.	YARD		
				MTD.	MOUNTED						



### ACCESSIBLE ROUTE / RAMP

4.6.1.1 GENERAL  
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.6.

4.6.2.1 SLOPE AND RISE  
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12.  
THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN. CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.



### SIGN MOUNTING LOCATION

ICC/ANSI A117.1, 703.2.7. MOUNTING HEIGHT.  
CHARACTERS SHALL BE 48 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE ADJACENT FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE CHARACTERS.  
EXCEPTION: ELEVATOR CAR CONTROLS.

ICC/ANSI A117.1, 703.2.8. MOUNTING LOCATION.  
WHERE A SIGN CONTAINING TACTILE CHARACTERS IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONG SIDE THE DOOR ON THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.  
SIGNS CONTAINING TACTILE CHARACTERS SHALL HAVE AN 18" X 18" MINIMUM SPACE ON THE FLOOR OR GROUND, CENTERED ON THE SIGN, BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED AND 45° OPEN POSITION.  
EXCEPTION: DOOR-MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

### DOOR HARDWARE HEIGHT

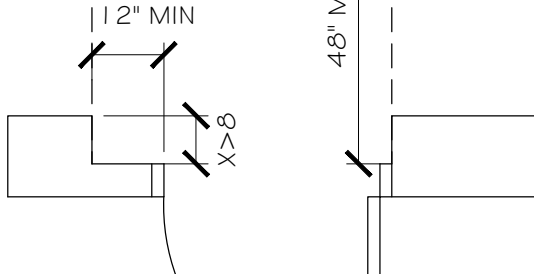
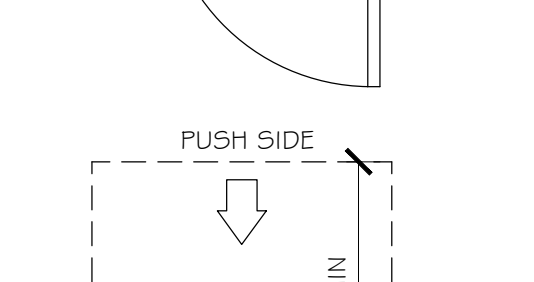
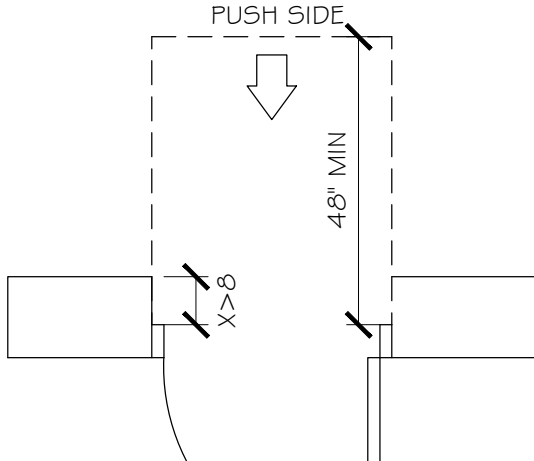
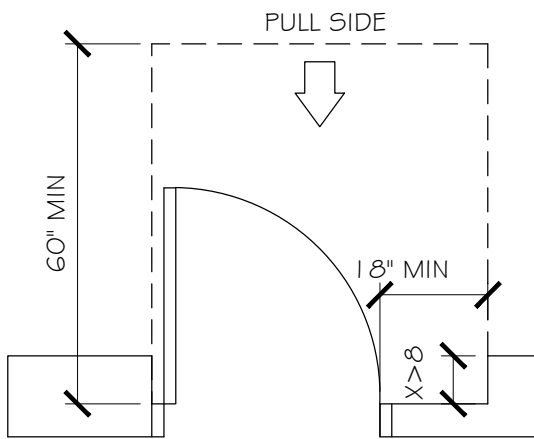
IBC 1008.1.8.2. HARDWARE HEIGHT.  
DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.

### MINIMUM CEILING HEIGHTS

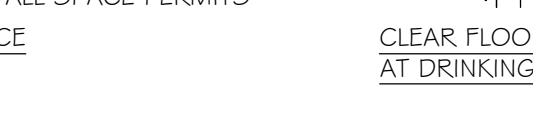
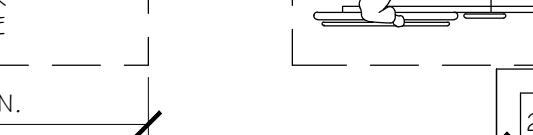
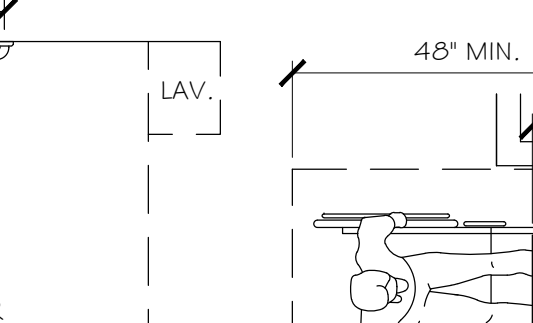
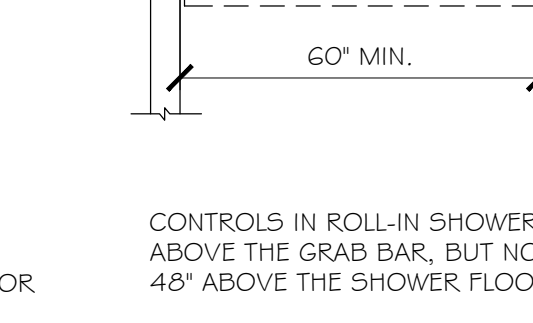
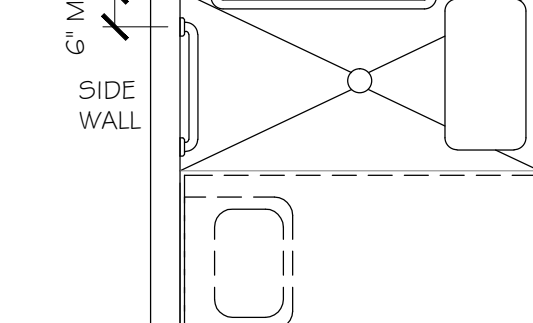
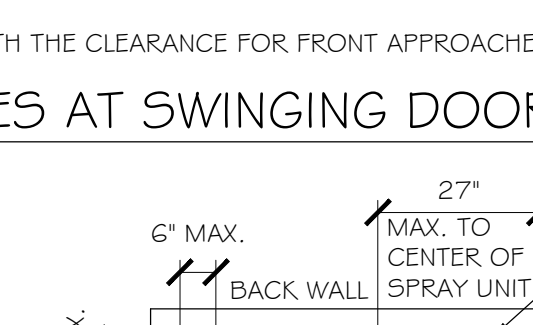
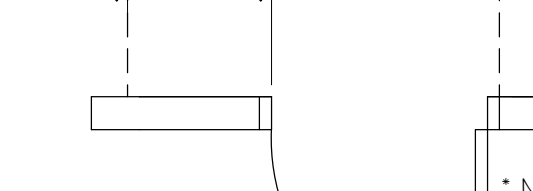
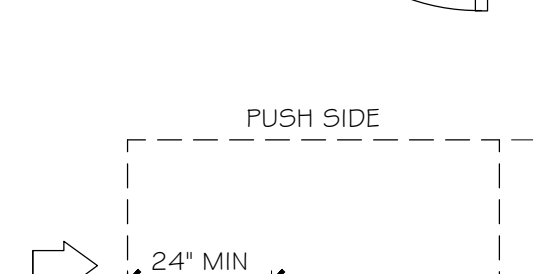
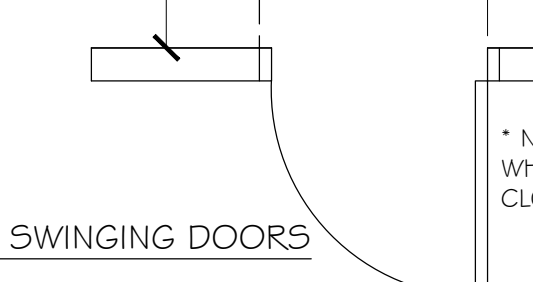
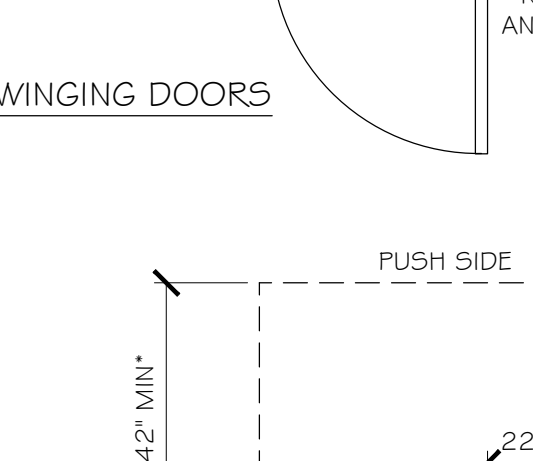
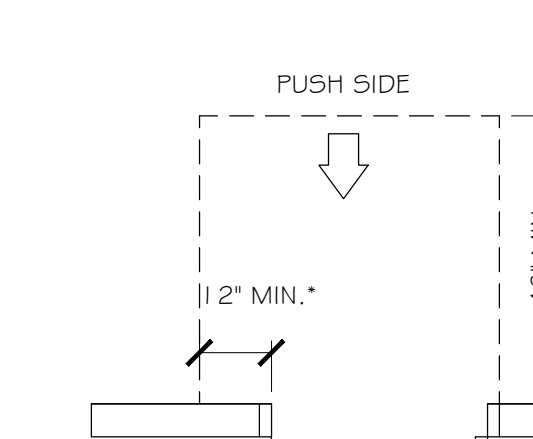
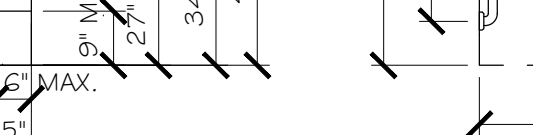
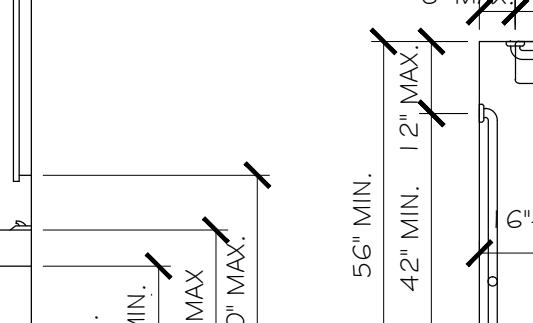
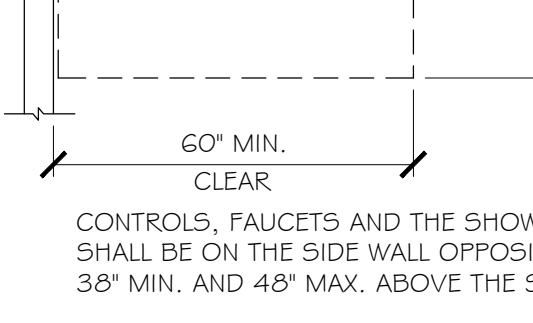
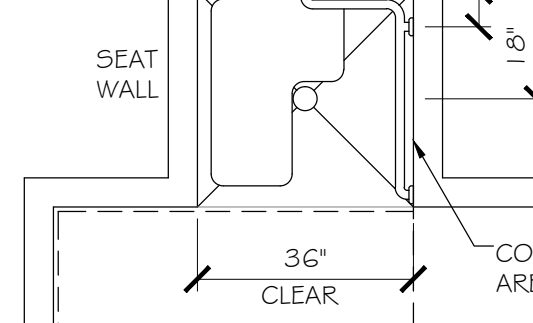
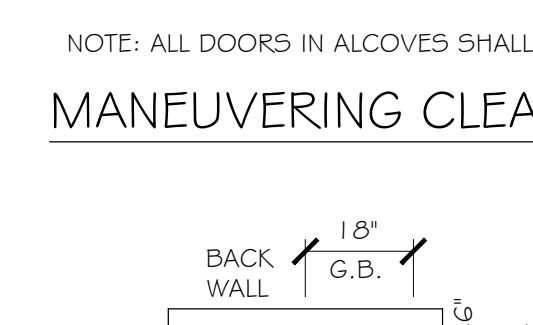
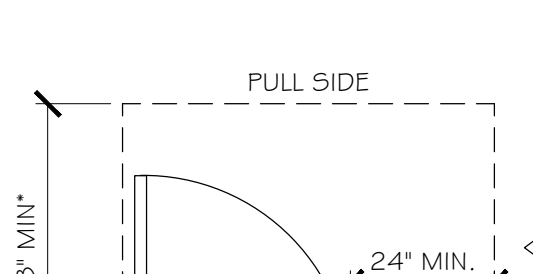
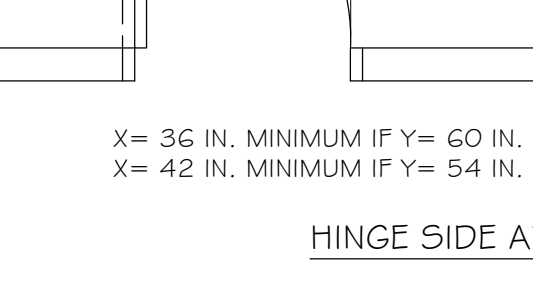
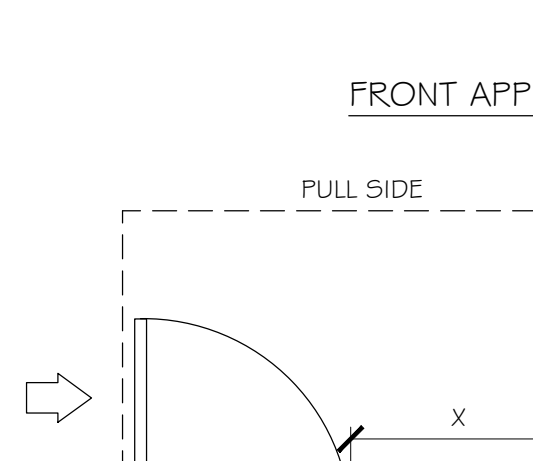
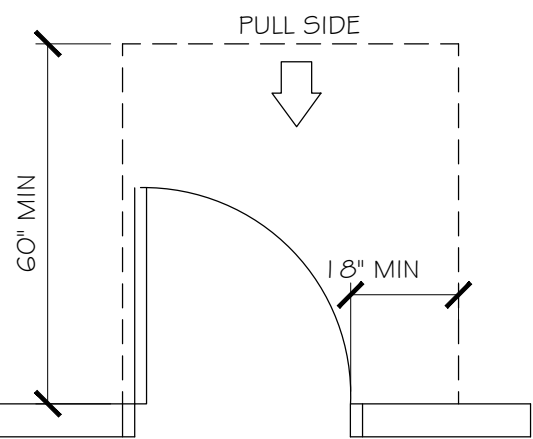
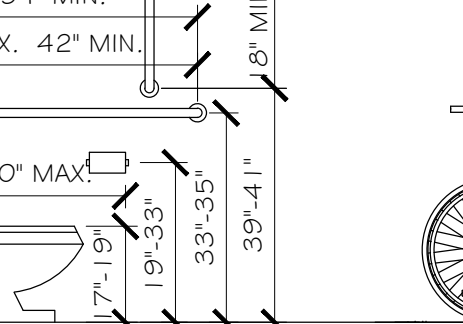
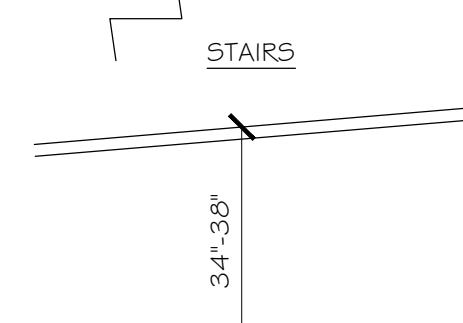
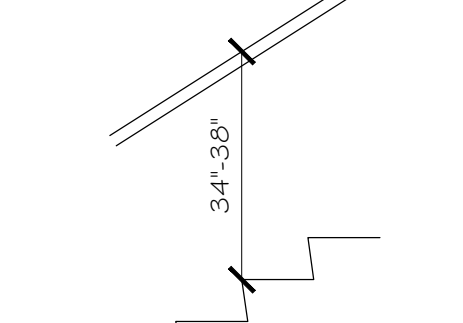
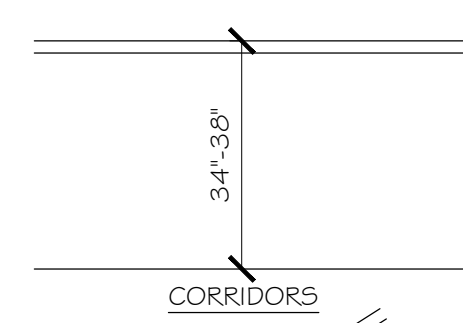
IBC 1208.2 MINIMUM CEILING HEIGHTS.  
OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.

EXCEPTION: IF ANY ROOM IN A BUILDING HAD A SLOPED CEILING, THE PRESCRIBED CEILING HEIGHT FOR THE ROOM IS REQUIRED IN ONE-HALF THE AREA THEREOF. ANY PORTION OF THE ROOM MEASURING LESS THAN 5 FEET FROM THE FINISHED FLOOR TO THE CEILING SHALL NOT BE INCLUDED IN ANY COMPUTATION OF THE MINIMUM AREA THEREOF.

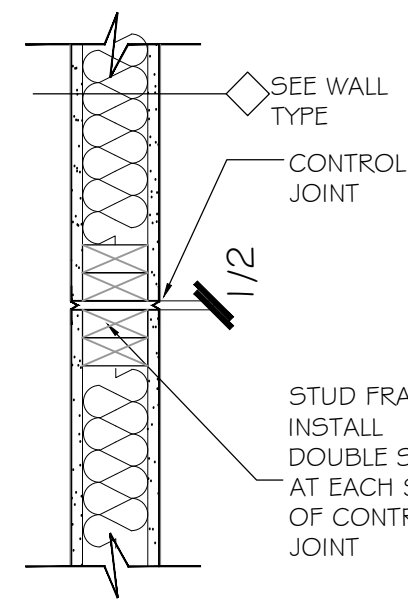
IBC 1208.2.1 FURRED CEILING.  
ANY ROOM WITH A FURRED CEILING SHALL BE REQUIRED TO HAVE THE MINIMUM CEILING HEIGHT IN TWO-THIRDS OF THE AREA THEREOF, BUT IN NO CASE SHALL THE HEIGHT OF THE FURRED CEILING BE LESS THAN 7 FEET.



### RECESSED DOOR CLEARANCE

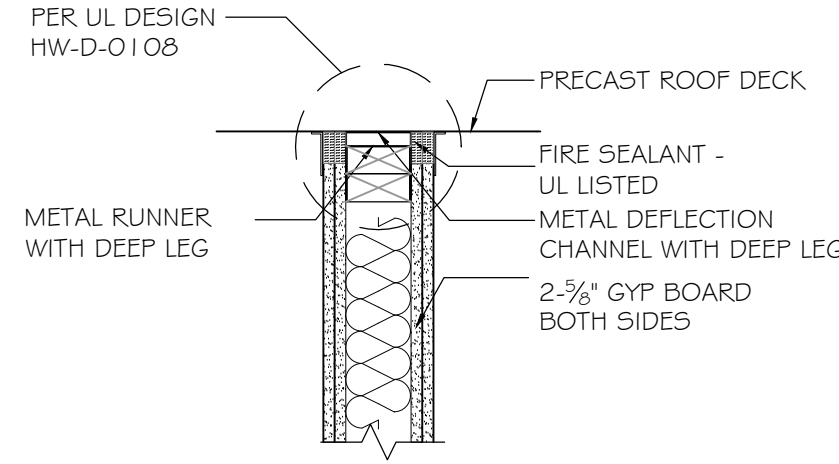






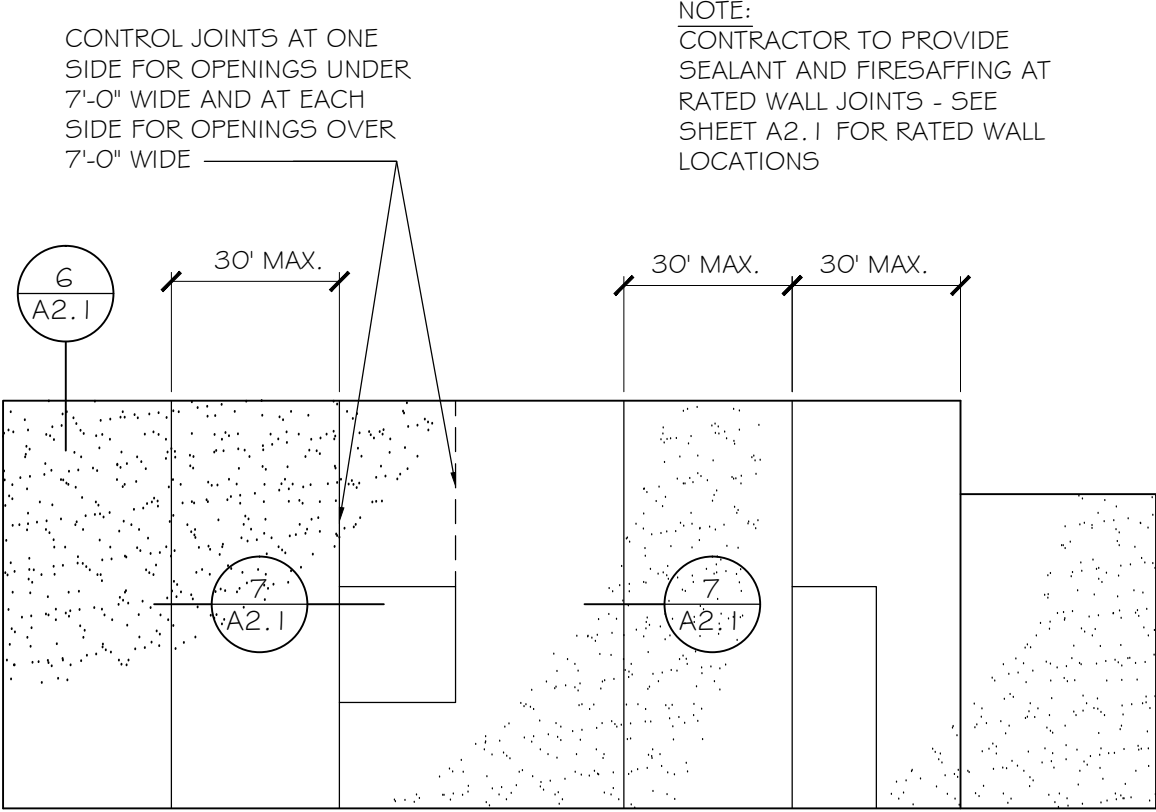
TYPICAL GYP.  
BD. CONTROL  
JOINTS

SCALE: N.T.S.



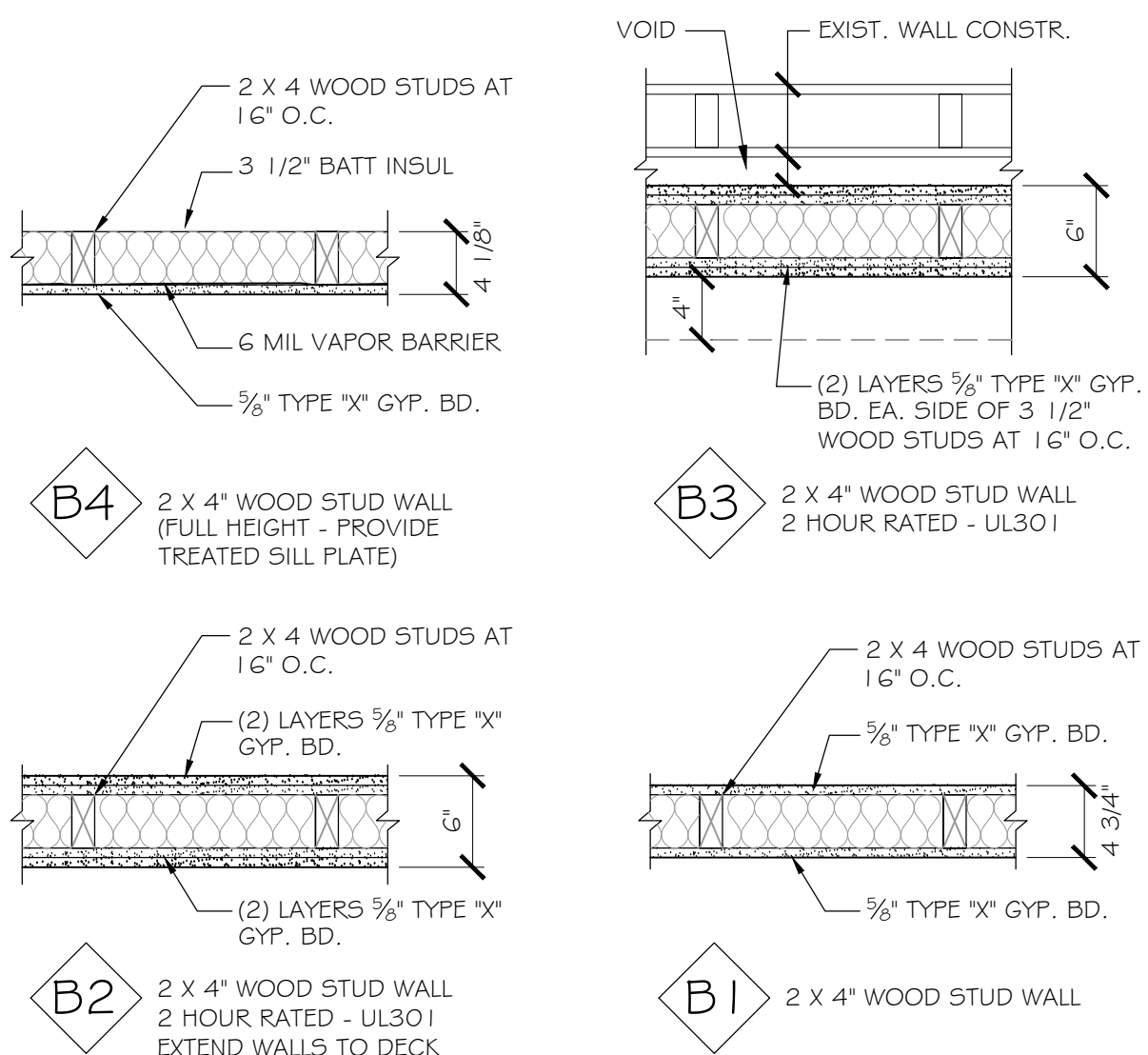
WALL TO DECK  
AT RATED WALL  
LOCATIONS

SCALE: N.T.S.



TYP. GYP. BD. CONTROL JOINTS

SCALE: N.T.S.



WALL TYPES

SCALE: 1" = 1'-0"

**GENERAL NOTES**

INSURE UPDATED FIRE SAFETY AND EVACUATION PLANS ARE IN PLACE AT TIME OF CERTIFICATE OF OCCUPANCY. (IFC 404.2)

ALL EMPLOYEES SHALL BE TRAINED IN THE FIRE EMERGENCY PROCEDURES AT TIME OF OCCUPANCY. (IFC 406)

ADDRESS TO BE POSTED AT FRONT AND REAR EGRESS DOORS.

ALL ROOMS CONTAINING FIRE PROTECTION EQUIPMENT SHALL BE CLEARLY LABELED. (IFC 510.1)

- PLAN NOTES**
- ALIGN NEW WALL WITH EXISTING CONSTRUCTION
  - PROVIDE (2) LAYERS 5/8" TYPE X GYPSUM BOARD EACH SIDE OF EXISTING WALL TO PROVIDE 2 HOUR RATING
  - PROVIDE VINYL COATED ACOUSTIC CEILING IN THIS ROOM AT 8'-6" A.F.F.
  - SITE CLEAR EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW 2 HOUR RATED DOOR AND FRAME
  - SITE CLEAR EXISTING ASPHALT PAVING. PROVIDE NEW 4" THICK STOOP SLAB LEVEL WITH FLOOR SLAB
  - PATCH EXISTING ASPHALT INTO NEW CONCRETE SLAB WITH A SMOOTH TRANSITION
  - EXHAUST FAN
  - REMOVE EXISTING CEILING MOUNTED UNIT HEATER. NEW HEATER BY OTHERS
- \*\* GC PATCH EXISTING CONSTRUCTION AS REQUIRED



REFERENCE PHOTO

SCALE: NO SCALE

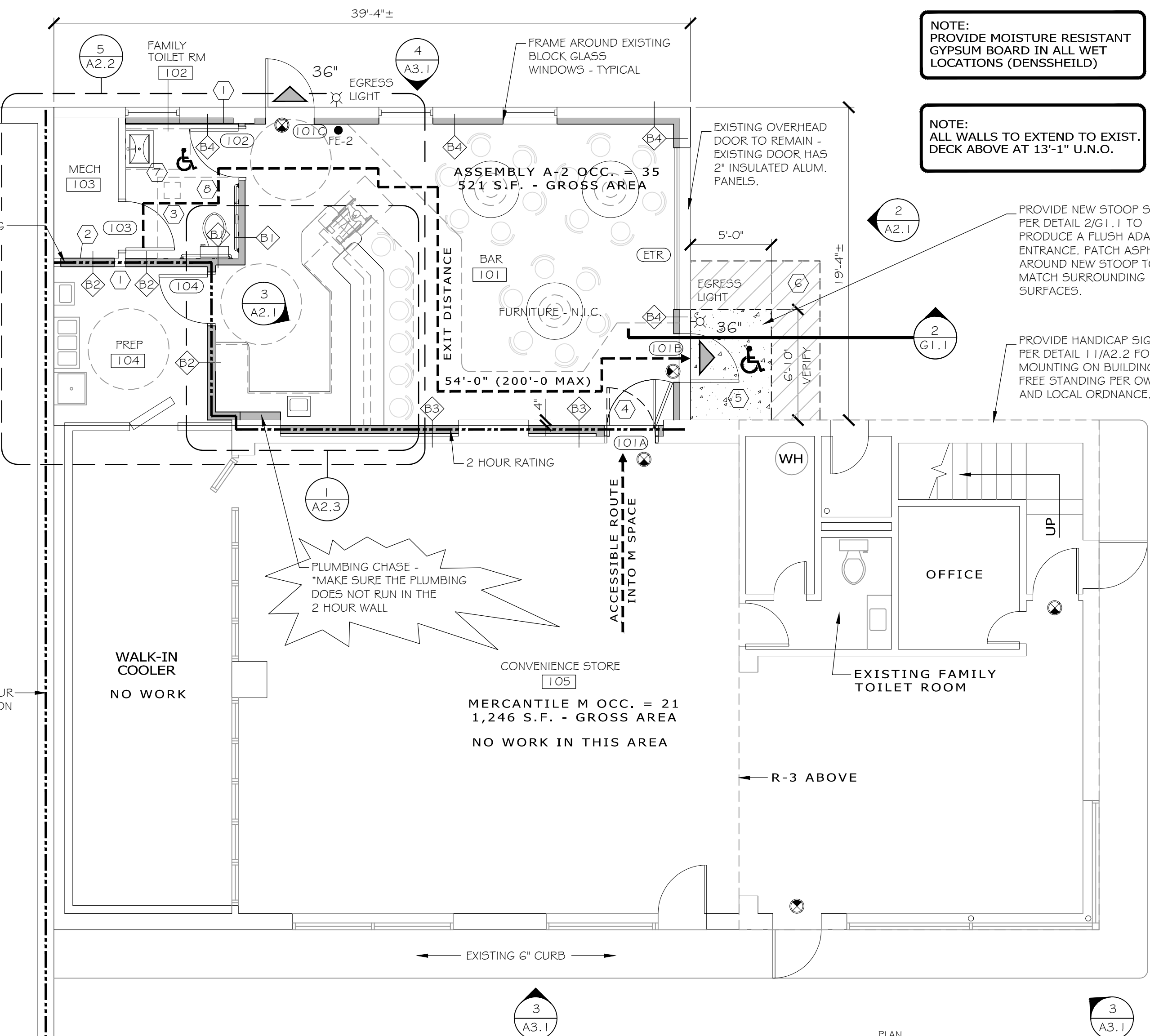


REFERENCE PHOTO

SCALE: NO SCALE

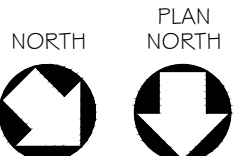
- KEY**
- 2 HR RATED FIRE BARRIER
  - 1 HR RATED FIRE BARRIER
  - EXIT ACCESS TRAVEL DISTANCE
  - EGRESS WIDTH
  - FE-2 FIRE EXTINGUISHER
  - EXIT LIGHT (EXISTING)
  - EXIT LIGHT
  - EGRESS LIGHT
  - ACCESSIBLE

- PLAN LEGEND**
- EXISTING WALL
  - EXISTING WALL TO BE SITE CLEARED
  - NEW WALL CONSTRUCTION SEE WALL TYPES SHEET A2.2
  - PLAN NOTE REFERENCE
  - DOOR ID NUMBER SEE DOOR SCHED. A7.1
  - ROOM ID AND NUMBER
  - WALL TYPE SEE SHEET A2.2
  - ELEVATION NUMBER
  - SHEET NUMBER
  - DETAIL NUMBER
  - SHEET NUMBER



FIRST FLOOR / CODE PLAN

SCALE: 3/16" = 1'-0"



CONSTRUCTION DOCUMENTS

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**RMA**  
ARCHITECTS  
1050 SOUTH GRIDER STREET  
APPLETON, WISCONSIN 54914  
PHONE: 920-364-9850

PROJECT DESCRIPTION: REMODEL FOR:  
**1201 N. BADGER AVE**  
FIRST FLOOR BAR -REMODEL  
1201 N. BADGER AVE. APPLETON, WI 54914

DRAWN BY  
TFM/SDN  
CHECKED BY  
TFM

DATE  
02/23/24

PROJECT NO.  
245005

**A2.1**



# INSTALLATION INSTRUCTIONS

General: Areas to be protected must be clean and free of oil, loose dirt, rust or scale. Installation temperatures must be between 35°F and 100°F (2°C and 38°C). Allow product to dry a minimum of 24 hours before exposure to moisture.

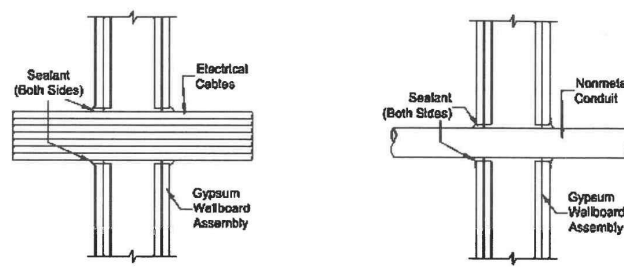
System Selection: Selection of an appropriate firestop system design is critical to the fire protection process. Space limitations preclude highly detailed information pertaining to individual application systems. Please consult the STI Product & Application Guide as well as the UL® Fire Resistance Directory for additional information.

Forming: Some installations may require forming as either an integral part of the system or as an option to facilitate installation. In systems where forming is required, mineral wool bats (min. nom. 4 lb/cu. ft. (64 kg/m³) density) are recommended. Some gypsum wallboard systems utilize fiberglass. Cut forming material over-size to allow for tight packing. Position forming material to allow for the proper depth of fill material.

Fill Material: SpecSeal® Series SSS Sealant may be installed by caulking using a standard caulking gun or from bulk containers using a bulk loading caulk gun, or by manually troweling using a mason's trowel or putty knife. If the sealant tends to pull back from a surface, clean the surface with a damp rag or sponge and reapply. Work sealant into all areas extending care to eliminate voids or seams. The surface of the sealant can be smoothed using a putty knife dipped in water. Adding water to the sealant itself is not recommended. Sealant (when dry) may be sanded and painted using most non-solvent based paints. In gypsum wallboard penetrations, crown sealant 1/4" (6 mm) from penetrant to wallboard surface at a point approximately 12" (3 m) or more from opening. Sealant (when dry) may be painted using most non-solvent based paints.

Smoke Sealing: In some applications including firestop collars, SpecSeal® Series SSS Sealant is recommended as a smoke seal. It is suggested in those applications that the sealant be applied to both sides of walls. In floor applications, a sealing bead is suggested top and bottom.

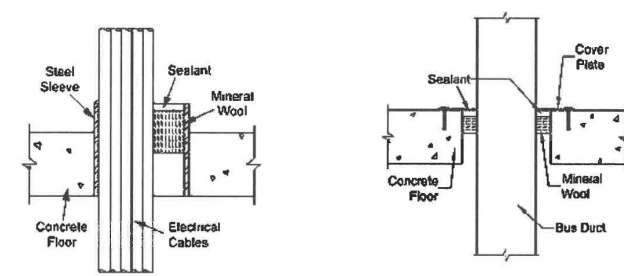
## Fig. 3: ELECTRICAL DATA OR COMMUNICATIONS PENETRATIONS - RATED GYPSUM WALLBOARD ASSEMBLIES



UL SYSTEM W-1-3076  
F Rating: 1-2 1/2 hr / T Rating: 0  
1/2" x 4" Cable Bundle  
Cut Sealant 1/4" from Penetrant  
Sealant Depth: 5/8" with 1/4" Crown

UL SYSTEM W-1-2093  
F Rating: 1-2 1/2 hr / T Rating: 1-1/2 hr  
2" Rigid PVC, CMR  
or Optical Fiber Reroute  
1-1/4" PVDF Optical Fiber Reroute  
Sealant Depth: 5/8" with 1/4" Crown

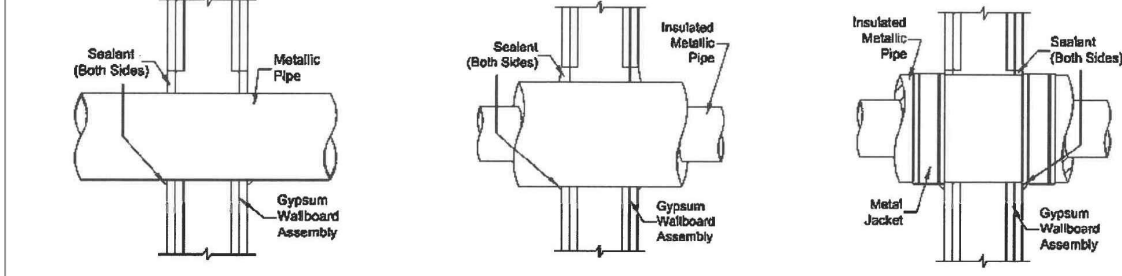
## Fig. 4: ELECTRICAL PENETRATIONS - CONCRETE/MASONRY FLOORS & WALLS



UL SYSTEM C-AJ-3154  
F Rating: 1-2 1/2 hr / T Rating: 0, 1-2, & 2 1/2 hr  
Optical Sleeve-PVC or Steel  
Electrical, Telephone or Data Cables  
Annular 7" to 2"  
Sealant Depth: 1/2"  
Forming Material: Nom 4 pcf Mineral Wool  
Sealant Depth: 1/2" with 1/4" Crown

UL SYSTEM C-AJ-6008  
F Rating: 2 1/2 hr / T Rating: 0  
Aluminum or Copper Bus Bar, 5000 Amp  
Steel Cover Plate  
Sealant Depth: 1/2"  
Forming Material: Nom 4 pcf Mineral Wool  
1/2" PVDF Products to depth of 1/2"

## Fig. 5: BARE & INSULATED METALLIC PIPE PENETRATIONS - RATED GYPSUM WALLBOARD ASSEMBLIES



UL SYSTEM W-1-1049  
F Rating: 2 1/2 hr / T Rating: 0  
Steel or Iron Pipe, 1/2" Copper Pipe, 6"  
Insulated Pipe, 2" Thick Pipe Cover  
Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-1-5014  
F Rating: 1-2 1/2 hr / T Rating: 0  
Steel or Iron Pipe, 1/2" Copper Pipe, 6"  
Insulated Pipe, 2" Thick Pipe Cover  
Sealant Depth: 5/8" with 3/8" Crown

UL SYSTEM W-1-4051  
F Rating: 1-2 1/2 hr / T Rating: 0, 1-2, & 2 1/2 hr  
Steel or Iron Pipe, 1/2" Copper Pipe, 6"  
Insulated Pipe, 2" Thick Pipe Cover  
Sealant Depth: 5/8" with 3/8" Crown

Technical Service 1-800-892-1180  
www.stifirestop.com  
STI Product Data Sheet • Series SSS Intumescent Sealant • ZDF08-0001-1577  
3 of 4

## TWO (2) HOUR WALL PENETRATION ASSEMBLIES

NO SCALE

## ACCESSORY SCHEDULE

KEY NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	QTY.	REMARKS
A	TOILET	ZURN	Z5562	1	
B	WALL HUNG LAVATORY	KOHLER	K-1997-4-0	1	
C	WALL HUNG LAVATORY FAUCET	DELTA	541-DST	1	
D	GRAB BARS	BOBRICK	B-60GX36"	1, 2	
E	GRAB BARS	BOBRICK	B-60GX42"	1, 2	
F	GRAB BARS	BOBRICK	B-60GX18"	1, 3	
G	TOILET PAPER DISPENSER	BOBRICK	B-4368	1, 4	
H	ADA SIGNAGE (SEE DETAILS A2.2)	-	-	1, 4	
I	WALL MOUNTED MIRROR (24"X36")	BOBRICK	B-290	1, 5	
J	SOAP DISPENSER	BOBRICK	B-2111	1, 1	
K	PAPER TOWEL DISPENSER	BOBRICK	252	1, 1	

REMARKS NOTE: VERIFY PRODUCT MANUFACTURERS & MODEL NUMBERS WITH OWNER.

- REFER TO SHEET G1.2 FOR FURTHER DESCRIPTION AND MOUNTING REQUIREMENTS.
- HORIZONTAL.
- VERTICAL.
- MOUNT CENTER OF SIGN AT 60" A.F.F.
- MOUNT BOTTOM OF REFLECTIVE SURFACE MAX 40" A.F.F.

## DESIGN NO. UL U301

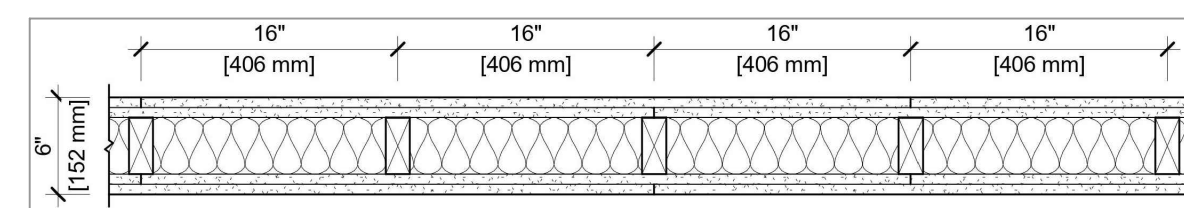
FIRE RATING: 2 HOURS  
STD. RATING: 0  
SYSTEM TEST: USG-151237  
SYSTEM THICKNESS: 8" (152 MM)  
LOCATION: INTERIOR  
FRAMING TYPE: WOOD STUD (LOAD-BEARING)

UL U301

USG Corporation  
250 West Adams Street  
Chicago, IL 60601 USA  
www.usg.com  
1-800-USGROCK

## ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)  
WOOD STUDS: 2" X 4" (50 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.  
INSULATION: 3-1/2" (89 MM) FIBERGLASS INSULATION  
GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)

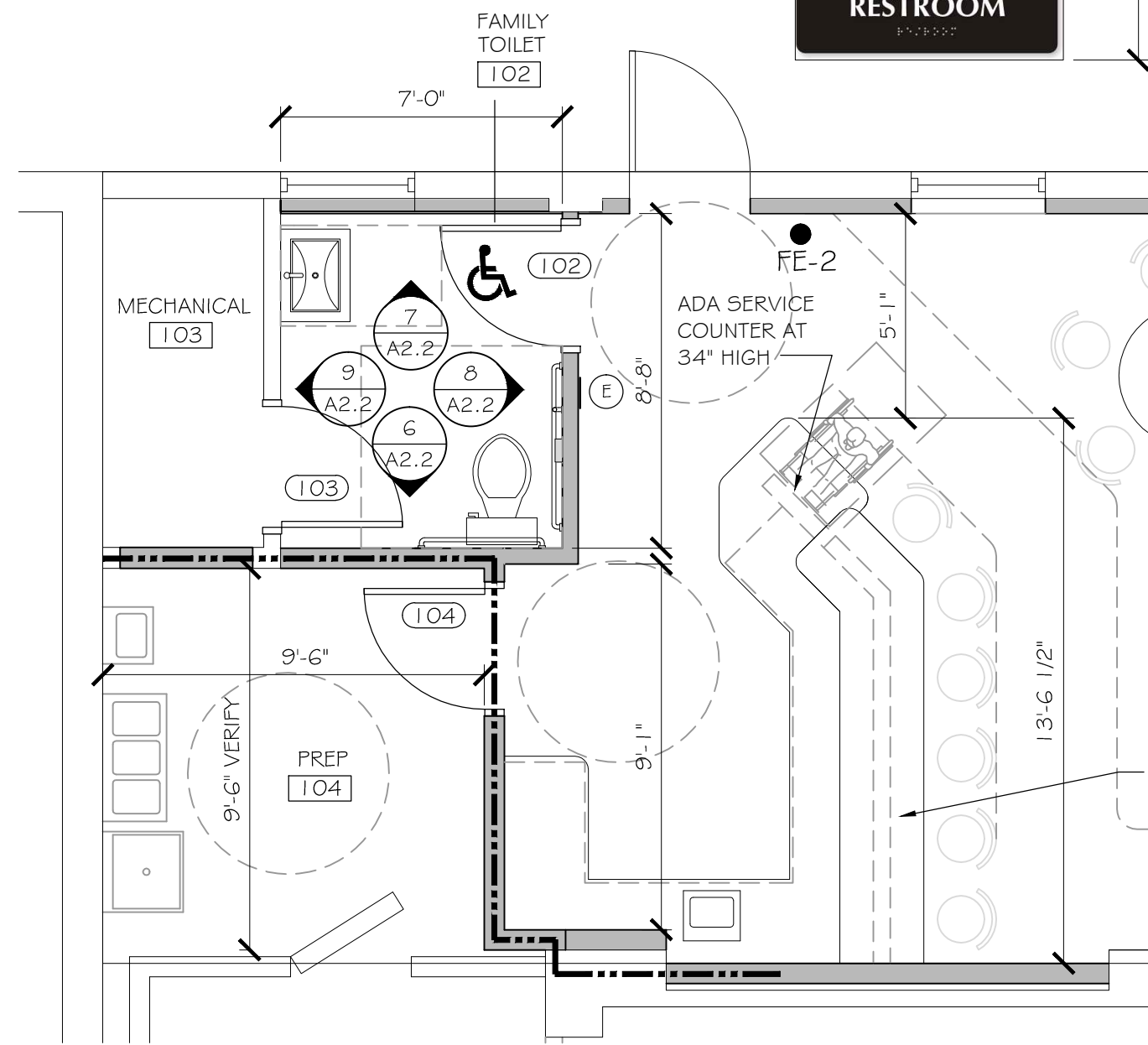
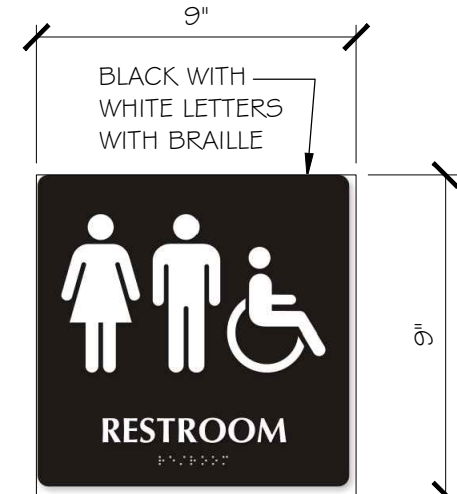


## TWO (2) HOUR WALL ASSEMBLY - UL -U301

SCALE: NONE

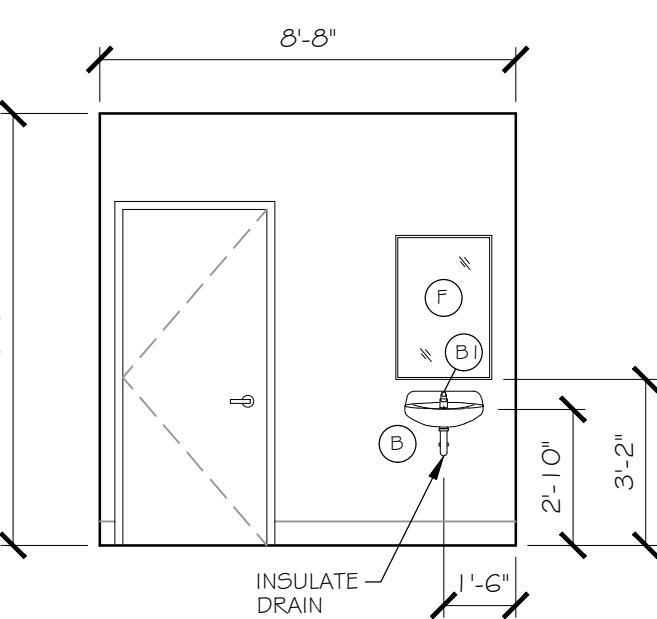
## FAMILY RESTROOM SIGNAGE

N.T.S. (SIGN PER CODE REQUIREMENTS)



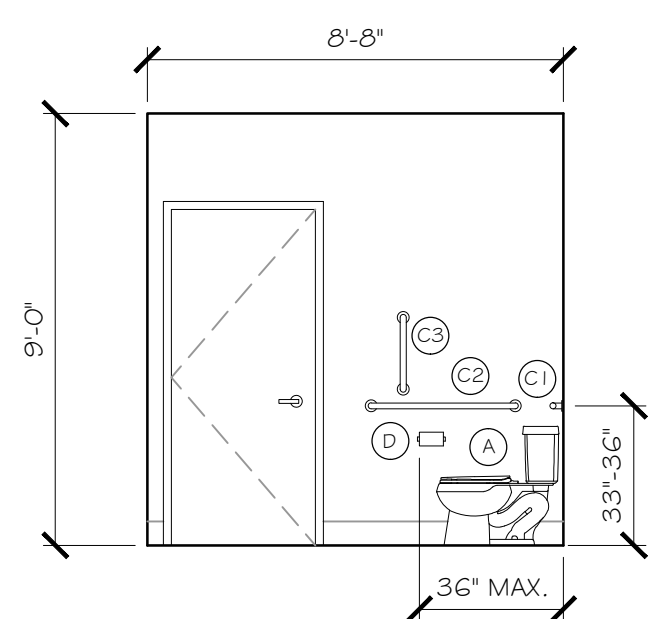
## TOILET ROOM /BAR PLAN

SCALE: 1/4" = 1'-0"



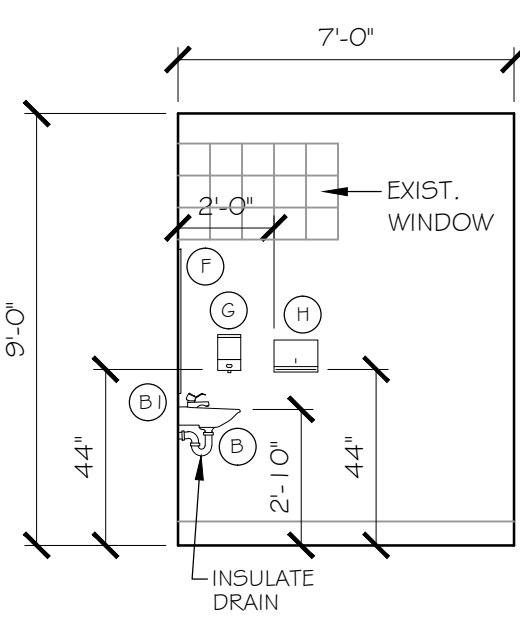
## ELEVATION

SCALE: 1/4" = 1'-0"



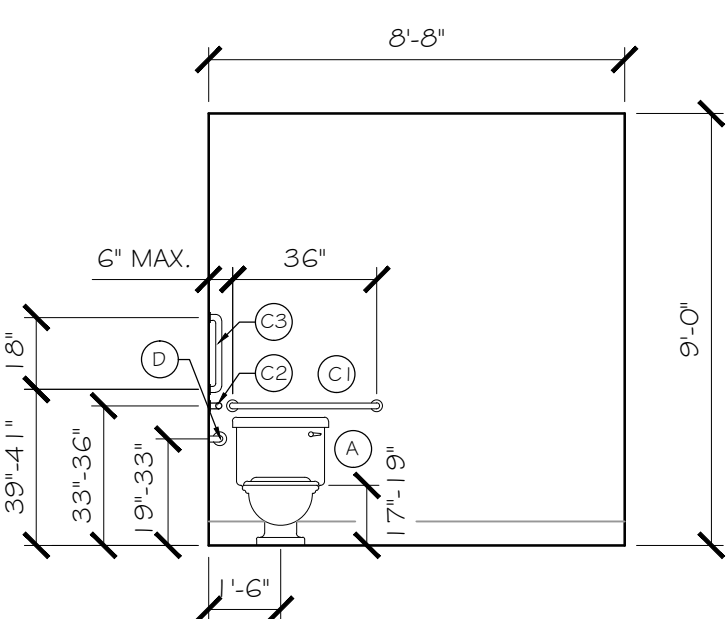
## ELEVATION

SCALE: 1/4" = 1'-0"



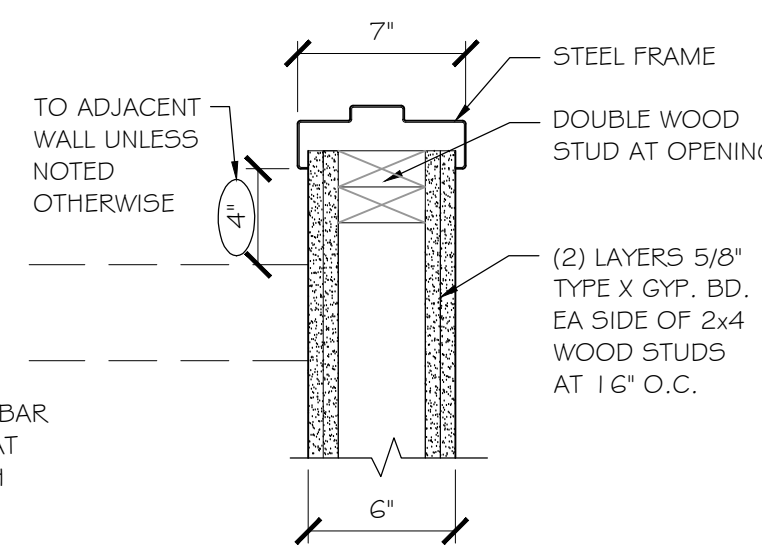
## ELEVATION

SCALE: 1/4" = 1'-0"



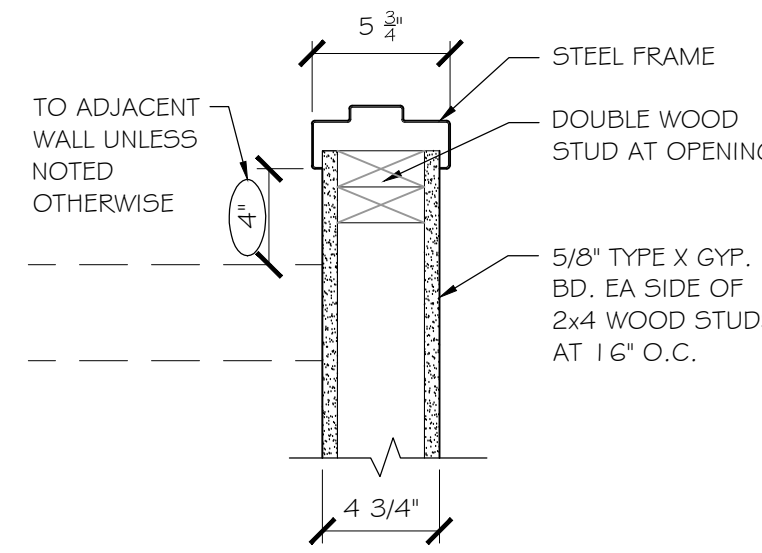
## ELEVATION

SCALE: 1/4" = 1'-0"



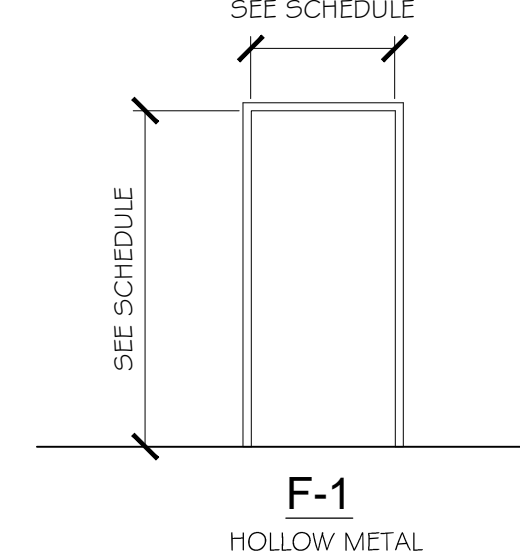
## HEAD/JAMB DTL.

SCALE: 1/2" = 1'-0"



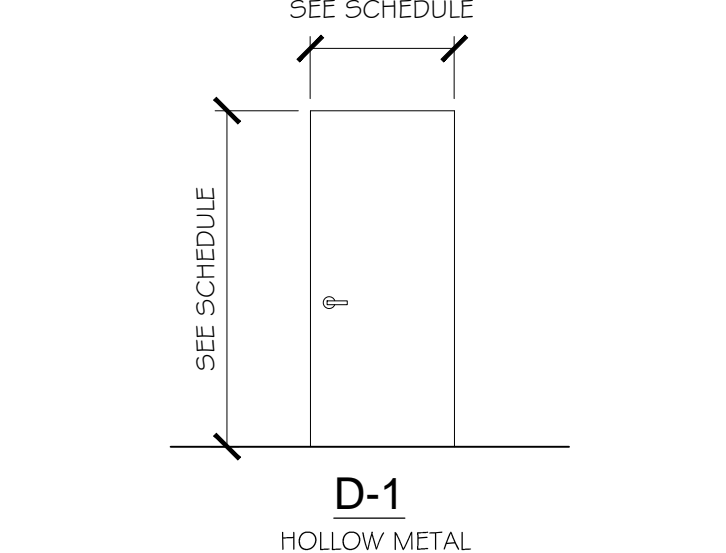
## HEAD/JAMB DTL.

SCALE: 1/2" = 1'-0"



## FRAME TYPES

SCALE: 1/4" = 1'-0"

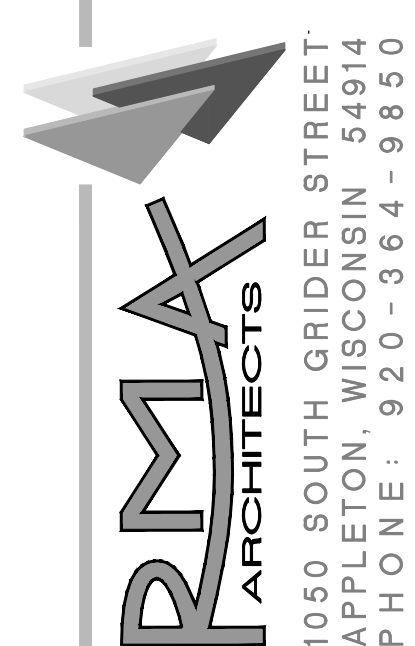


## DOOR TYPES

SCALE: 1/4" = 1'-0"

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PROJECT DESCRIPTION: REMODEL FOR:  
**1201 N. BADGER AVE**  
FIRST FLOOR BAR -REMODEL  
1201 N. BADGER AVE. APPLETON, WI 54914

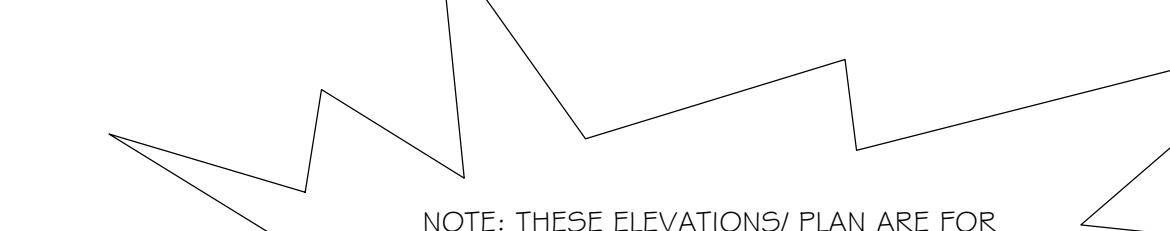
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DATE  
02/23/24

PROJECT NO.  
245005

A2.2





NOTE: THESE ELEVATIONS/ PLAN ARE FOR MATERIAL TAKE OFFS AND REFERENCE ONLY. THE OWNER WILL DECIDE THE MATERIALS OF THE BAR/ BACK BAR.



SCALE: 3/4" = 1'-0"



SCALE:  $3/4" = 1'-0"$



SCALE: 3/4" = 1'-0"



SCALE:  $\frac{3}{4}" = 1'-0"$




SCALE: 3/4" = 1'-0"



SCALE:  $3/4" = 1'-0"$

### A2.3

### A2.3

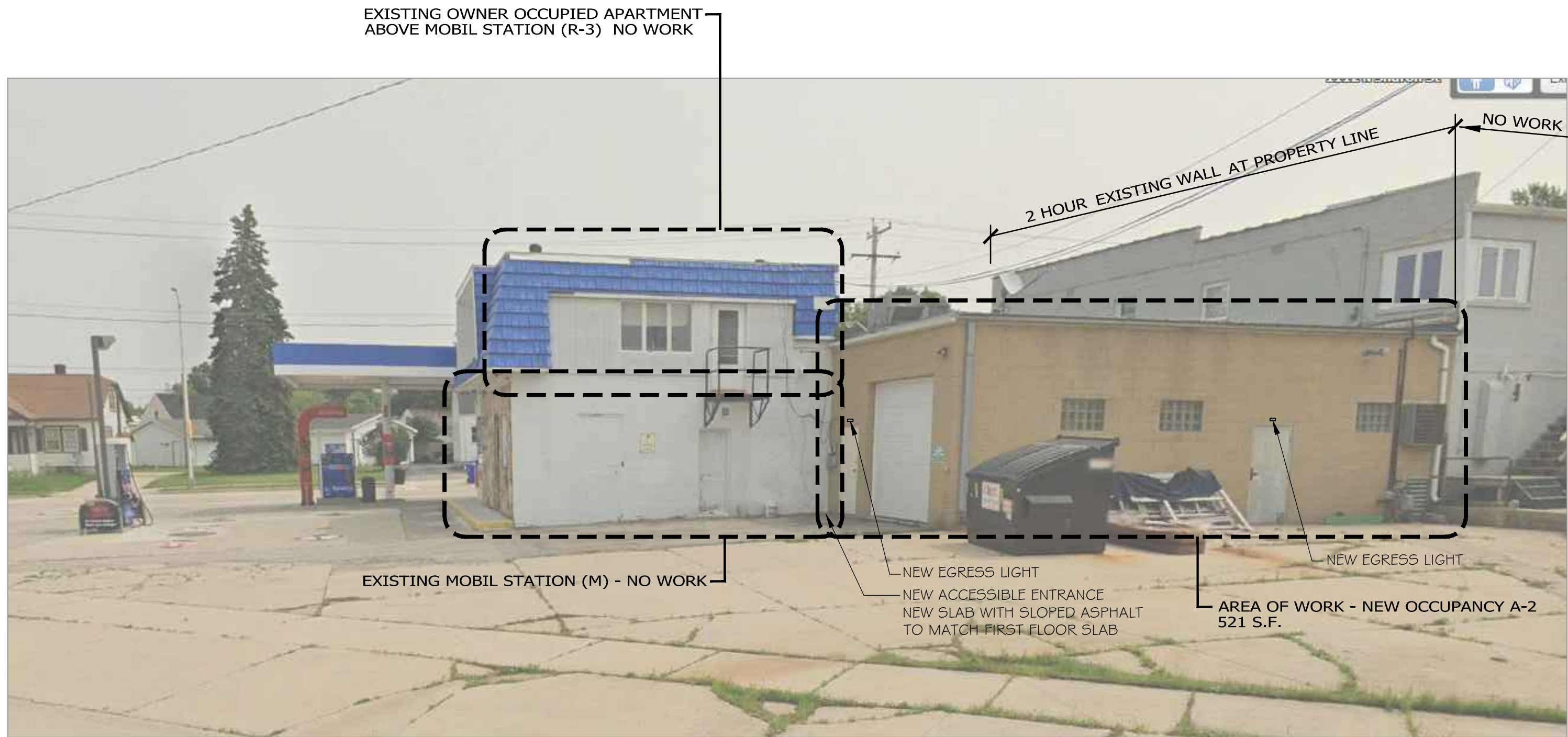


**RMA**  
ARCHITECTS

1050 SOUTH GRIDER STREET  
APPLETON, WISCONSIN 54914  
PHONE: 920-364-9850

PRMA ARCHITECTS, INC. 6/10/2014 8:52 AM I45022-A2.2.dwg





REFERENCE PHOTO  
SCALE: NO SCALE (BACK)

4  
A3.1



REFERENCE PHOTO  
SCALE: NO SCALE (SIDE)

2  
A3.1



REFERENCE PHOTO AT BADGER AVE AND N. SHARON ST  
SCALE: NO SCALE (FRONT / SIDE)

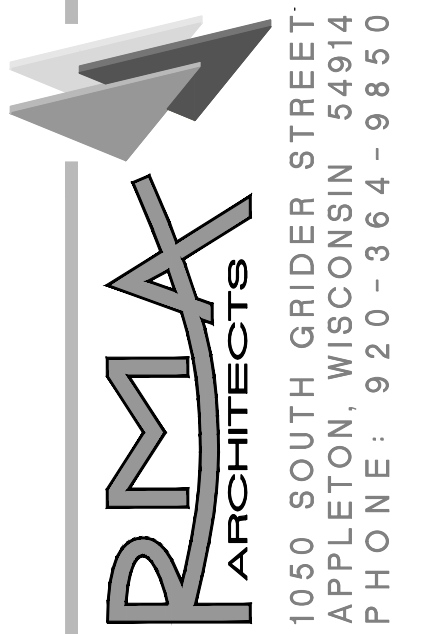
3  
A3.1



REFERENCE PHOTO AT BADGER AVE  
SCALE: NO SCALE (FRONT)

1  
A3.1

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**A3.1**